



CITY OF ST. PETERSBURG, FLORIDA  
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

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## STAFF REPORT

### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action **scheduled for Tuesday, August 11, 2020 at 2:00 p.m.**, by means of communications media technology pursuant to Executive Order 20-69 issued by the Governor on March 20, 2020, and Executive Order 2020-12 issued by the Mayor on April 9, 2020. Everyone is encouraged to view the meetings on TV or online at [www.stpete.org/meetings](http://www.stpete.org/meetings).

According to Planning and Development Services Department records, Commissioners Jeff Wolf and Sharon Winters reside or have a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



AGENDA ITEM:

CITY FILE NO.: 20 90200052

REQUEST:

Review of a Certificate of Appropriateness for the construction of a residential addition. The subject property is a contributing resource to the *North Shore Section – 700-block 18th Avenue NE*, a local historic district.

PROPERTY ADDRESS:

706 18th Avenue Northeast

OWNERS:

Teresa Cromwell and Kathleen Cote

AGENT: Neal E Fiske, Contractor  
PARCEL ID NO.: 17-31-17-83221-068-0050  
LEGAL DESCRIPTION: SNELL & HAMLETT'S NORTH SHORE ADD REV. REPLAT BLK 68, LOTS 5 AND 6  
ZONING: NT-3

## Historic Significance and Existing Conditions

The frame vernacular house at 706 18<sup>th</sup> Avenue Northeast (“the subject property”) is listed as a contributing resource to the North Shore Section – 700 Block of 18<sup>th</sup> Avenue NE Local Historic District (18-90300008). It is additionally recorded as FMSF no. 8PI00547, a contributing resource to the North Shore National Register District. The house was constructed in 1928 by John Carson.

Presently located at the corner of 18<sup>th</sup> Avenue Northeast and Walnut Street Northeast, the house contains elements of American Foursquare and Colonial Revival style, such as the one-story portico on its front facade, and is located on a double lot. It features hipped roof with a front gable dormer. It is two stories in height with a brick veneer and a composition shingle roof. The house has a side addition and enclosed porch, constructed by its first owner John Carson in 1936. The house appears to have undergone little change over the years, as seen in Figure 1 below.



**Figure 1: 1940 photograph of 706 18<sup>th</sup> Ave NE. From the April 28, 1940 issue of the *St. Petersburg Times*.**

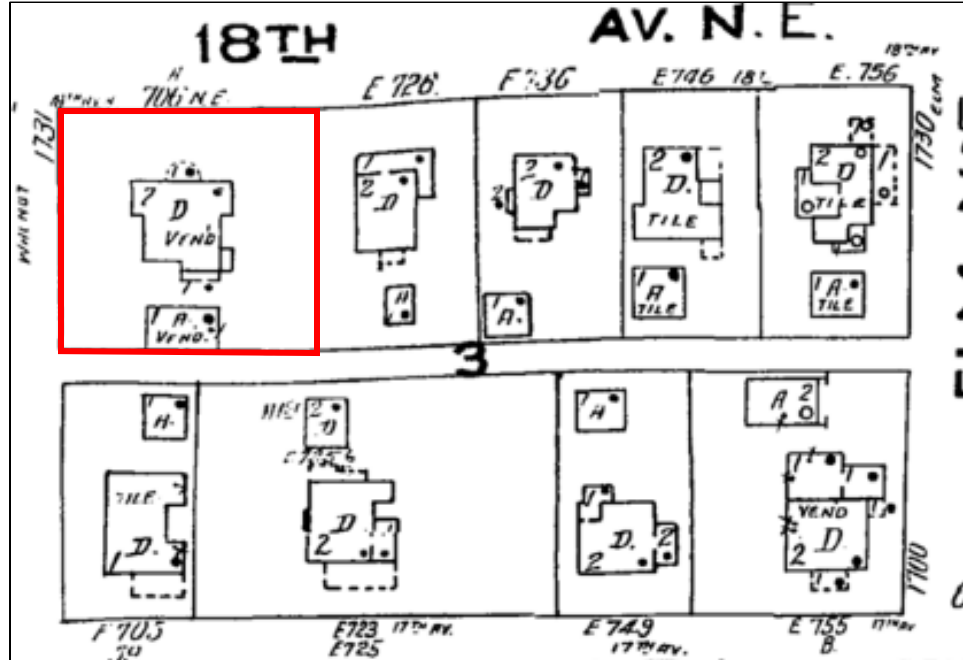


Figure 2: 1951 Sanborn Map, Sheet 36, St. Petersburg, Florida, with subject property outlined. Sanborn map does not show 1936 side addition and porch.

## Project Description and Review

### Project Description

#### *New Side Addition*

The application proposes the construction of a 370 square foot side addition, attached to an earlier side addition, constructed in 1936. The new addition will be located towards the eastern side of the subject parcel, featuring a setback from the front property line of approximately 43 feet. The new addition's form will be similar to the earlier side addition - rectangular with a hipped roof, and will utilize materials that match the main house.

According to the application (Appendix A), the proposed new construction will feature the following:

- A rectangular footprint of 19.25' by 19.25';
- A single-story hipped roof. The addition's height will be 14.25' at its peak;
- Wood frame construction with a brick veneer;
- One-over-one single-hung sash window with vinyl frame;
- Matching elements with the main house including exterior brick, windows and window frames, roof shingle, slope and style.

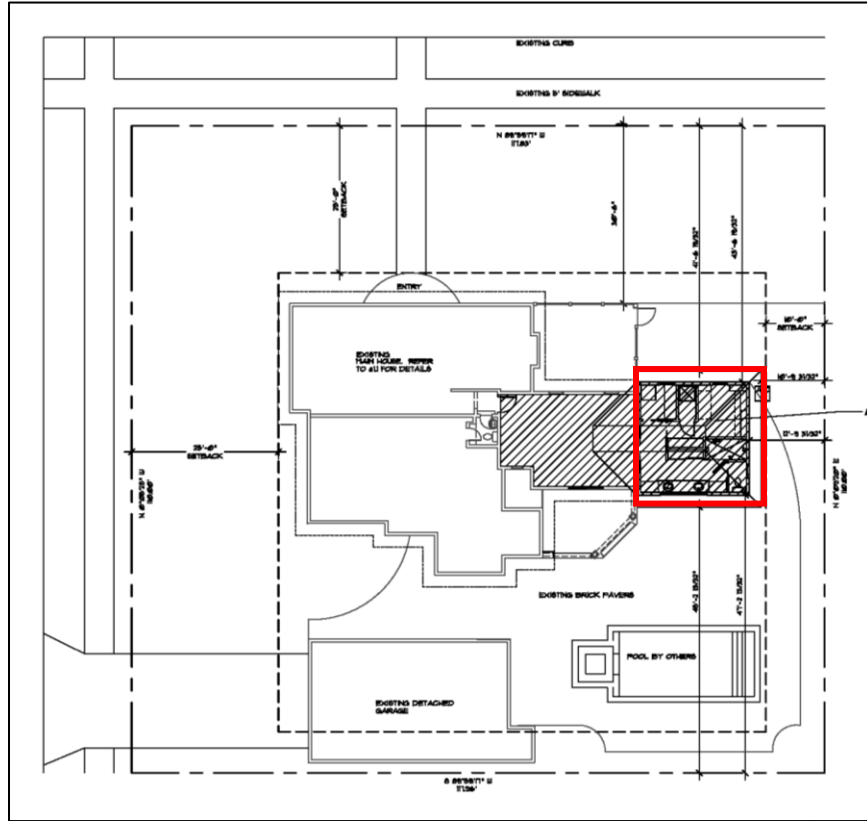


Figure 3: Proposed site plan with the new addition, outlined in red.

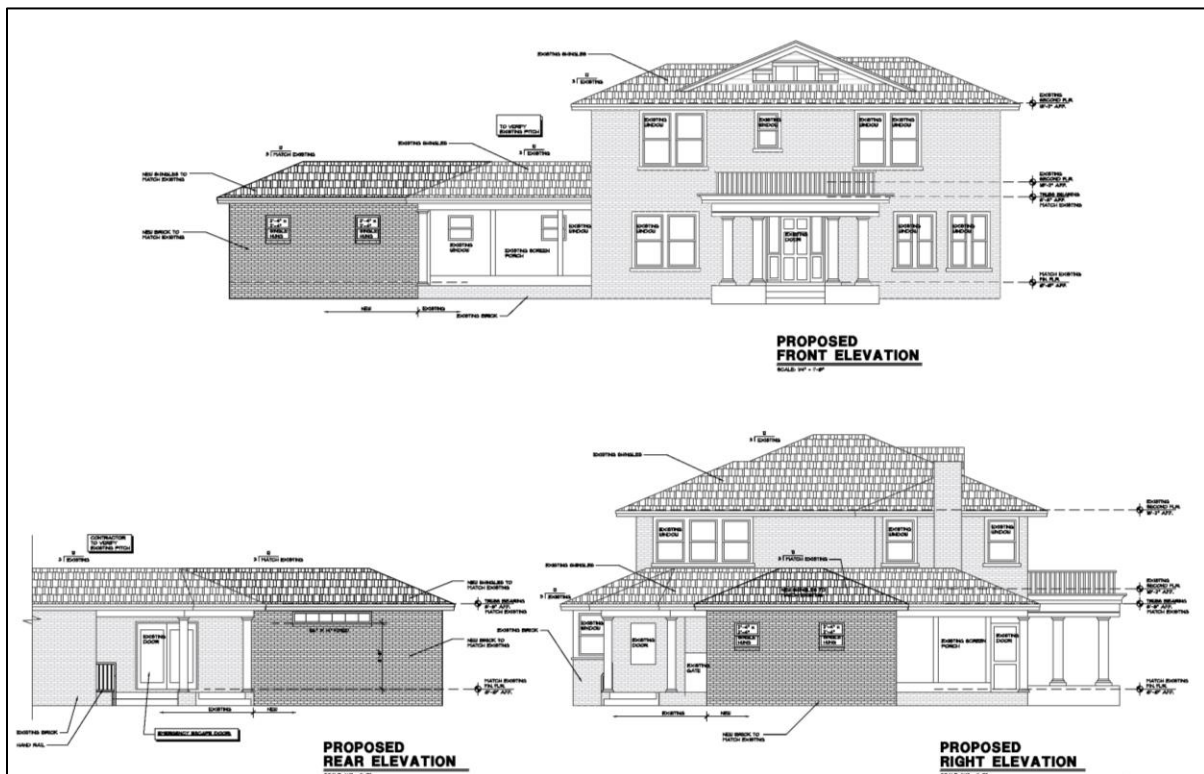


Figure 3: Proposed elevations with the new addition.

## General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Consistent** The proposed addition will be attached to an existing historic 1936 addition. It will be somewhat visible, but there is no other practical location to place an addition due to constraints on the site. The proposal appears to meet this criterion.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Consistent** The proposed project appears to meet this criterion as its visual impact will be minimized by its large setback from the front property line and proposed landscape features.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Consistent** There will be some removal of historic materials, such as a portion of the eastern wall of the 1936 addition, for the new addition. The proposal will add another side addition onto the contributing resource, changing the front view of the resource from the public right of way, but the new addition will be set far back from the front property line.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information  
not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not  
applicable** The subject property is a contributing property.

## Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines. Please note that only the proposed new shed construction is being discussed herein.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed addition will have a roof peak of approximately 14.25'. This is consistent with the height of the 1936 addition.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed addition will be approximately 19 feet by 19 feet with a height of 14 feet. It will be visually compatible with the existing 1936 addition, and it will be compatible with the rest of the resources in the district.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposal includes using windows on the front that match the 1936 addition. The windows will be small one-over-one windows, much shorter than the windows in the main house.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

**Somewhat Inconsistent** The front façade will include only two small windows, matching the fenestrations in the 1936 façade. Staff feels it would be more appropriate to match the fenestrations in the main house, but understands that since the proposed addition will be used as a closet, that the applicant would prefer smaller windows.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed addition will be located to the side of the main building. Normally, it is recommended that additions be located in the rear to not be as visually intrusive. The main house doesn't have any room for the addition to be located in the rear, as a historic garage is directly behind the house. Also, the side addition, attached onto the 1936 addition, will lead to less loss of historic materials on the main house.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

**Not applicable** The proposed addition will not have a front entrance or porch.

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

**Consistent** The application proposes to use brick that will match the main house, which

will be visually compatible.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed roof will have a hipped roof that matches the 1936 addition and will be compatible with the main house and neighborhood.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

**Consistent** The application states that fences and vegetation will be used to screen the new addition.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

**Generally** The massing of the proposed addition is visually compatible with the main house and the other resources in the district. Staff has already discussed the windows. There are no proposed door openings, porches, or balconies.  
**Consistent**

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

**Consistent** This property is one of the few in the district that is located on a double lot, allowing for a side addition that will be more visually compatible.

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

**Generally** Most of the eastern wall of the 1936 addition will be demolished for the new addition, but there isn't a better location that wouldn't lead to more removal of historic materials from the main house.  
**Consistent**

While utilizing materials that match the main house, the new addition will have a separate wall plane, distinguishing it from the 1936 addition. The new addition will have an appropriate massing, size, and scale in comparison to the main house.

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

**Consistent** The new addition will not impact the essential form and integrity of the

contributing resource and the local historic district. It could easily be removed in future with minimal loss of historic material.

#### Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

**Consistent** No change of use is proposed. The proposed project meets this criterion.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

**Generally** Some historic material will be removed to allow a connection to the new side addition, but there is no location for an addition that wouldn't require the removal of some historic material. The new addition will not impact the historic qualities and character of the historic building.  
**Consistent**

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

**Consistent** The proposed project borrows from existing historic features of the original structure and, therefore, meets this criterion.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

**Consistent** The proposed project will demolish a wall of a 1936 addition, but the 1936 addition will mostly be retained and preserved.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Consistent** The proposed project meets this criterion.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

**Consistent** The proposed project meets this criterion.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**Consistent** No information provided has suggested that improper treatments will be used on historic surfaces.



8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

**Not applicable** This criterion is not relevant.

### Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria met or partially met.
- Additional Guidelines for New Construction: 10 of 11 relevant criteria met or generally satisfied.
- Additional Guidelines for Alterations: 7 of 7 relevant criteria met or generally satisfied.

### Staff Recommendation and Conditions of Approval

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the property 706 18<sup>th</sup> Ave. NE, subject to the following:

1. Windows will be installed to be setback within the wall plane and feature a reveal of at least two inches.
2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
3. This approval will be valid for 24 months beginning on the date of revocation of the local Emergency Declaration.

# Appendix A:

Application No. 20-90200052 and Submittals



# CERTIFICATE OF APPROPRIATENESS

## APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

### GENERAL INFORMATION

706 18th Ave NE, St Petersburg, FL 33704

17-31-17-83221-068-0050

Property Address

Parcel Identification No.

700 Block of 18th Ave

Historic District / Landmark Name

Corresponding Permit Nos.

Teresa K Cromwell & Kathleen A Cote

617.835.2200

Owner's Name

Property Owner's Daytime Phone No.

706 18th Ave NE, St Petersburg, FL 33704

KACote@me.com

Owner's Address, City, State, Zip Code

Owner's Email

Neal E Fiske, President

727.302.9116

Authorized Representative (Name & Title), if applicable

Representative's Daytime Phone No.

TriplePoint DB, 6400 1st Ave N, St Petersburg, FL 33710

Neal@TriplePointDB.com

Owner's Address, City, State, Zip Code

Representative's Email

#### APPLICATION TYPE (Check applicable)

<input checked="" type="checkbox"/>	Addition	<input type="checkbox"/>	Window Replacement
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Door Replacement
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Roof Replacement
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	Mechanical (e.g. solar)
<input type="checkbox"/>	Other:		

#### TYPE OF WORK (Check applicable)

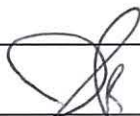
<input type="checkbox"/>	Repair Only
<input type="checkbox"/>	In-Kind Replacement
<input type="checkbox"/>	New Installation
<input type="checkbox"/>	Other:
<input type="checkbox"/>	

### AUTHORIZATION

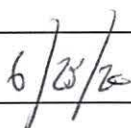
By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES: 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.  
 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:



Date:



Signature of Representative:

\_\_\_\_\_

Date:

\_\_\_\_\_

### Description of Cote/Cromwell Project:

We plan on constructing a new single story addition to the side of the existing wood frame brick façade structure. The 19'-3" x 19'-3" addition will match all finishes of the existing house as best as possible. These matching elements will include exterior brick, windows and window frames, roof shingle, slope and style. The interior elements will include wood work, doors, tile walls and floor, hardwood flooring, wall texture and plumbing fixtures.

The height of the new addition will seamlessly plane in to the existing roofline at 14'-3" height. The addition will be frame with textured brick siding to match main house. We are actually taking two of the existing window assemblies on the common wall being removed and relocating those window units in the new front elevation of the addition. The two other new windows will be 1/1 PGT vinyl windows set in the original period wood window frames, closely matching the existing. Roofing will be asphalt shingles to match existing shingle color.

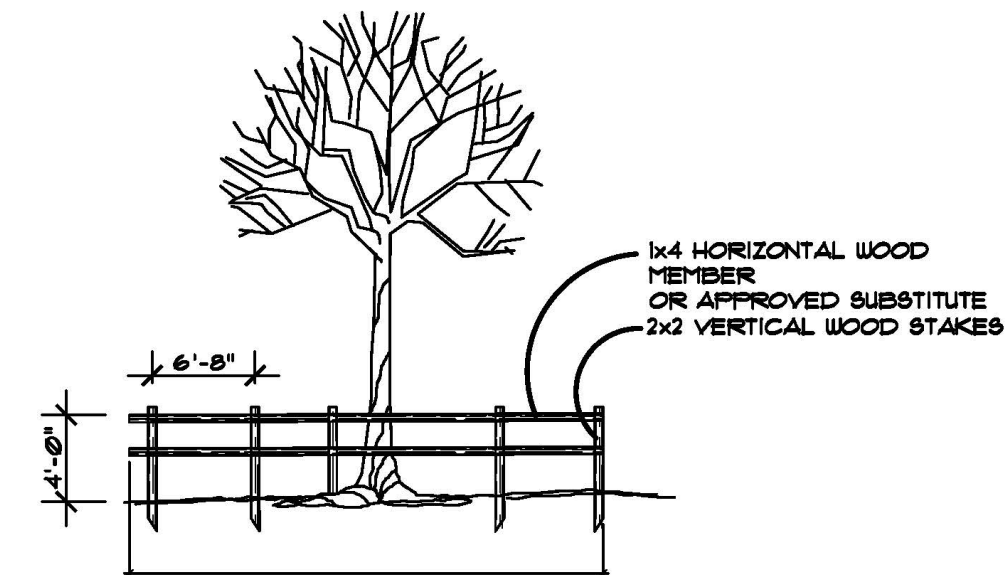
The addition, located on the north east side of the structure, will be setback 12'-10" from the side property line, 43'-6" from the front property line and 47'-2" from the rear property line. There is a six foot tall privacy fence along the perimeter of the property making the addition hidden from any and all walkway and street areas. There is also dense tree and landscape plantings adjacent to the privacy fence that aid in the concealment of the rear and side yards where the addition will be constructed.

**CITY STANDARDS FOR DRAINAGE:**  
6" DEEP DRAINAGE DITCH WITH 4:1 SIDE SLOPES

VEGETATIVE COVER OR SOD SHALL BE INSTALLED WITHIN ALL PERMEABLE AREAS OF THE PROPERTY AND ADJUTING RIGHT OF WAYS. THE INSTALLATION OF ST. AUGUSTINE TURF(SOD) AT THE PROPERTY IS LIMITED TO 50% OF THE PERMEABLE AREA OF THE LOT. ALL SOD AND PLANTING AREAS REQUIRE A MEANS OF IRRIGATION

**ELEVATION KEY**

EXISTING ELEVATIONS: X 500  
PROPOSED ELEVATIONS: 502  
SWALE: [Symbol]



**BARRICADE DETAIL**  
SCALE: NTS

**LANDSCAPE LEGEND**

- [Symbol] SCHEFFLERA ARBORICOLA-MIN 18" HIGH SHRUB
- [Symbol] FLORIDA ELM-MIN 10" HT.-2" DIA AT BREAST HT/(DBH)

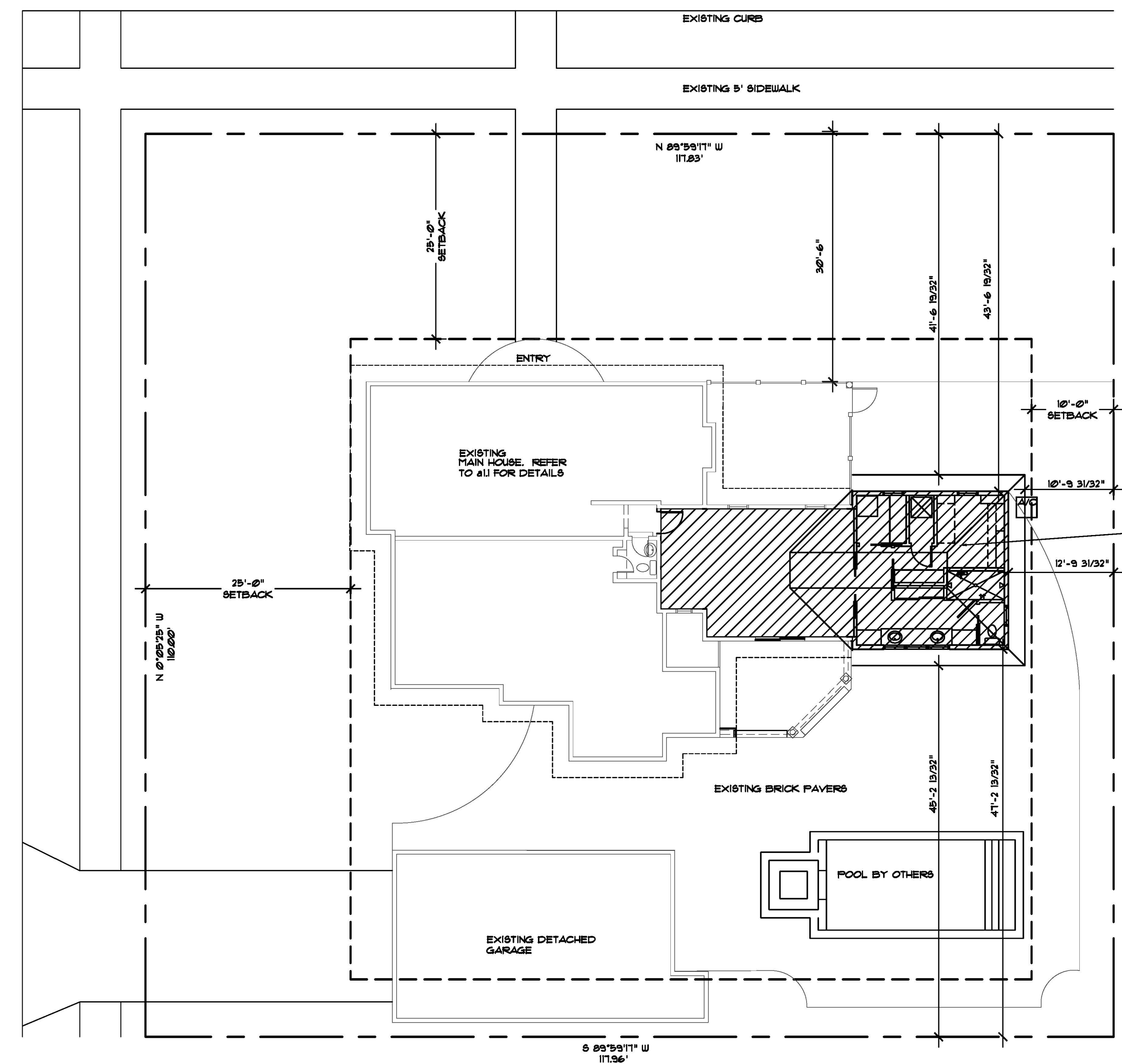
SITE WILL COMPLY WITH IRRIGATION REQUIREMENTS OF SECTION 16.40.06@211

ST AUGUSTINE TURF IS LIMITED TO A MAX. OF 50% OF THE PERMEABLE AREA OF THE LOT

DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON THE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

18TH AVENUE N.E.

WALNUT ST. N.E.

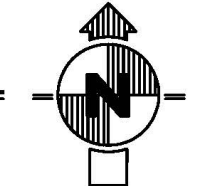


**PERMEABLE DATA**

FAIR HOME (1ST + 2ND FLOOR)	3,579 / 12,900 = (28%)
FAIR DETACH. GARAGE (1ST FLOOR)	714 / 12,900 = (5%)
<b>TOTAL FAIR</b>	<b>4,293 / 12,900 = (33%)</b>
BUILDING COVERAGE	2,599 / 12,900 = (20%)
IMPERVIOUS FRONT	525 / 12,900 = (4%)
IMPERVIOUS POOL	386 / 12,900 = (3%)
IMPERVIOUS PATIO	2,282 / 12,900 = (18%)
<b>IMPERVIOUS TOTAL</b>	<b>5,792 / 12,900 = (45%)</b>
PERVIOUS	7,108 / 12,900 = (55%)
<b>TOTAL SITE</b>	<b>12,900 (100%)</b>

**SITE PLAN**

SCALE: 1" = 10'-0"



ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

**SHEET INDEX:**

- sp1.1 Site Plan
- d1.1 Demolition Plan
- a1.1 First Floor Plan
- a2.1 Elevations
- a3.1 Wall Sections
- s0.1 Structural Notes
- s1.1 Foundation Plan
- s2.1 First Floor Framing Plan
- s2.2 Roof Framing Plan
- e1.1 First Floor Electrical Plan

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www.architectonicsstudio.com

**Cote-Cromwell**  
Addition  
706 18th Ave. N.E.  
St. Petersburg, Florida 33704

**Site Plan**

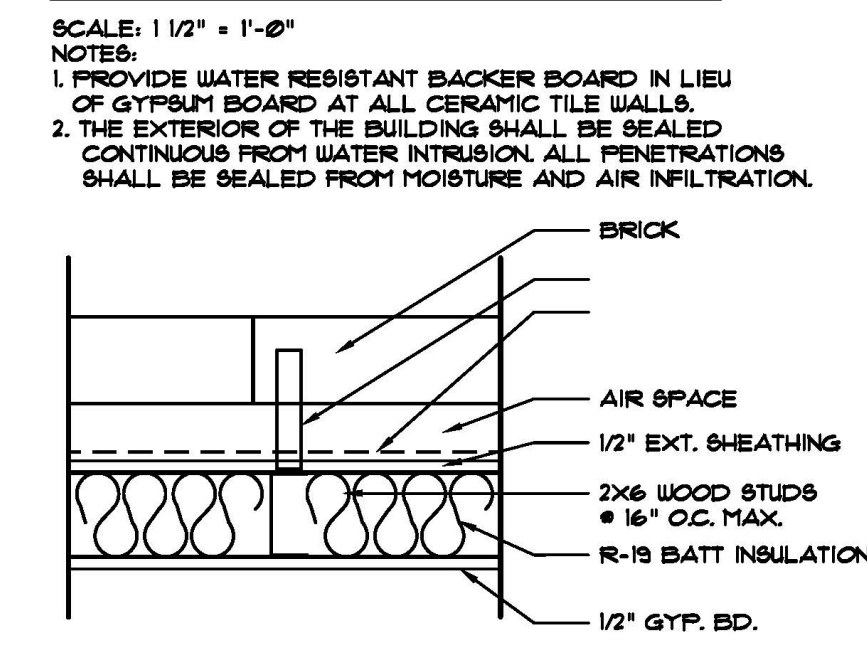
Project No.	2020-052R
Date	May 27, 2020
Revisions	

STATE OF FLORIDA  
MICHAEL ARRIGO  
REGISTERED ARCHITECT  
AR-0017335  
MICHAEL ARRIGO  
LIC. NO. AR2011335

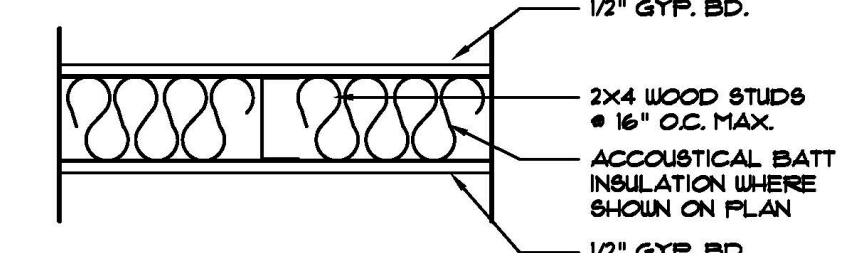
**sp1.1**

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Phone: (727)302-9116 • Fax: (727)345-4728  
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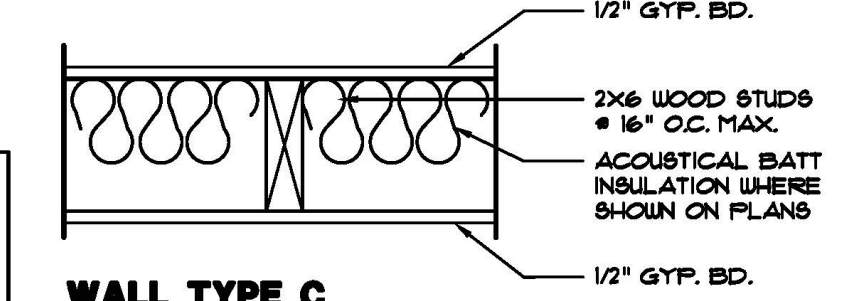
**WALL TYPES:**



**WALL TYPE A**



**WALL TYPE B**



**WALL TYPE C**

**LEGEND:**

- WALL TYPES
- 15 GENERAL CONSTRUCTION NOTE
- 2/1 SECTION DETAIL
- 1/1 PLAN DETAIL
- 2/1 ELEVATION SYMBOL

**BUILDING DATA**

THE BUILDING ADDITION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:  
 FLORIDA BUILDING CODE SIX EDITION (2017)  
 FLORIDA MECHANICAL CODE SIX EDITION (2017)  
 FLORIDA PLUMBING CODE SIX EDITION (2017)  
 FLORIDA EXISTING BUILDING SIX EDITION (2017)  
 FLORIDA BUILDING CODE-ENERGY CONSERVATION SIX EDITION (2017)  
 FLORIDA BUILDING CODE-TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 6TH EDITION (2017)  
 FLORIDA FIRE PREVENTION CODE SIX EDITION (2017)  
 FLORIDA ACCESSIBILITY CODE SIX EDITION (2017)  
 2014 NATIONAL ELECTRIC CODE (NFPA 70)  
 DESIGN LOADS PER STRUCTURAL DRAWINGS  
 BUILDING OCCUPANCY: R-3  
 CONSTRUCTION TYPE: TYPE V-B STUD EXTERIOR BUILDING UNFIRNKLERED

**GENERAL NOTES:**

1. CONCRETE TILE BACKER ON ALL SHOWER AND TUB WALLS.
2. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.
3. DOOR AND WINDOW OPENINGS THAT READ 3000, 20x40, ETC. ARE 3'-0\"/>

**AREA BREAKDOWN:**

FIRST FLOOR LIVING ADDITION:	366 SQ. FT.
EXISTING LIVING:	3219 SQ. FT.

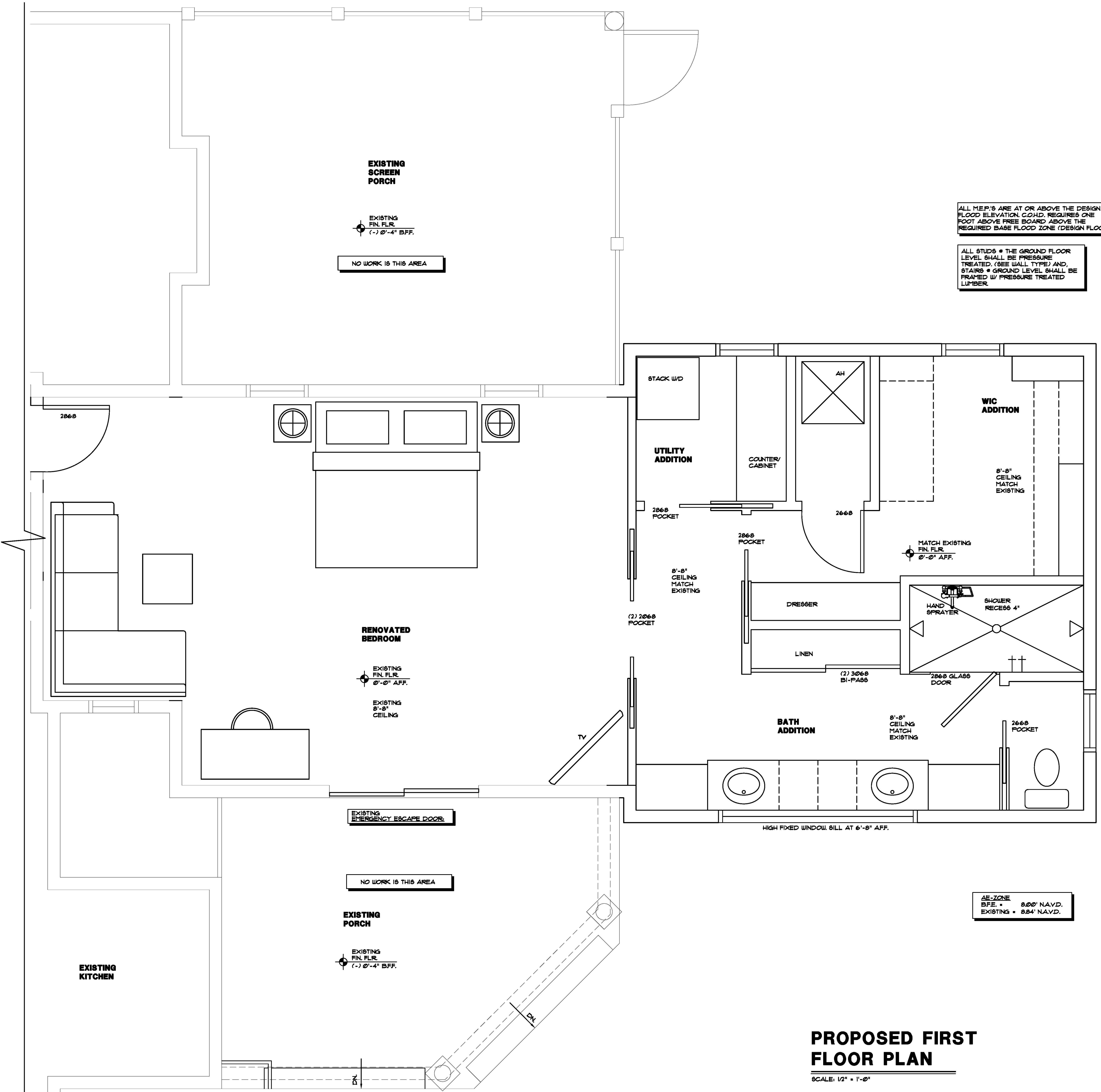
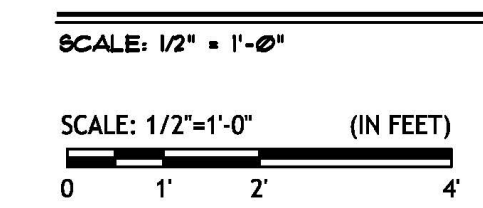
ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



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ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

**PROPOSED FIRST FLOOR PLAN**



ALL MEP'S ARE AT OR ABOVE THE DESIGN FLOOD ELEVATION COHD. REQUIRES ONE FOOT ABOVE FREE BOARD ABOVE THE REQUIRED BASE FLOOD ZONE (DESIGN FLOOD).

ALL STUDS @ THE GROUND FLOOR LEVEL SHALL BE PRESSURE TREATED. (SEE WALL TYPE) AND, STAIRS @ GROUND LEVEL SHALL BE FRAMED W/ PRESSURE TREATED LUMBER.

AE-ZONE  
 BFE = 8.20' NAVD.  
 EXISTING = 8.84' NAVD.

EXISTING SCREEN PORCH  
 EXISTING FIN. FLR. (-) 0'-4\"/>

NO WORK IS THIS AREA

RENOVATED BEDROOM  
 EXISTING FIN. FLR. 0'-0\"/>

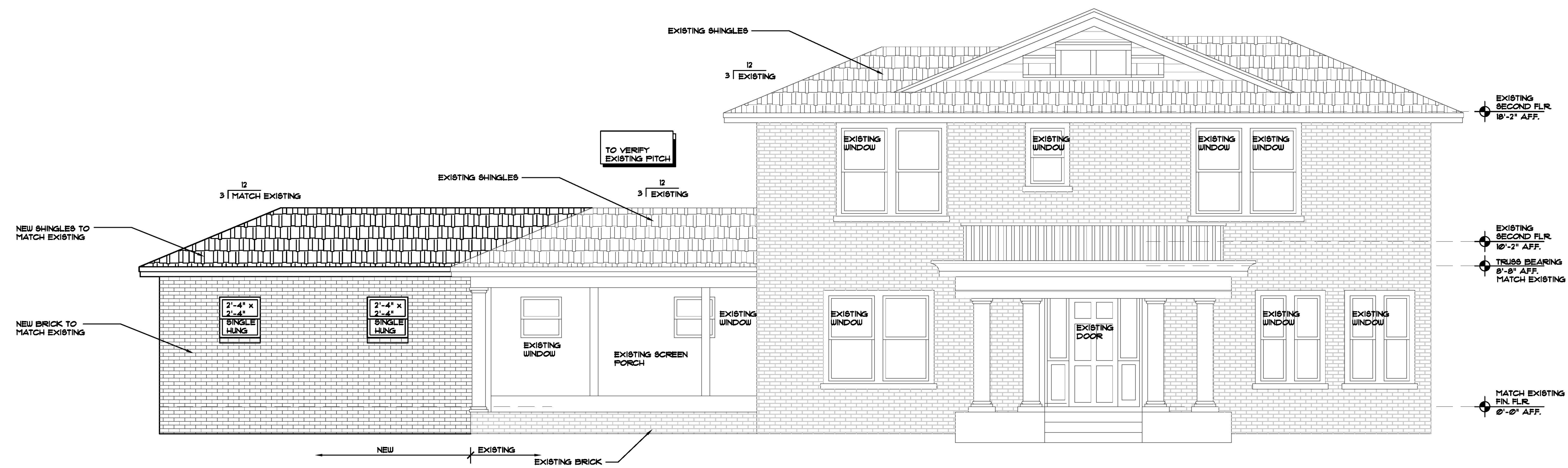
EXISTING 8'-8\"/>

EXISTING EMERGENCY ESCAPE DOOR

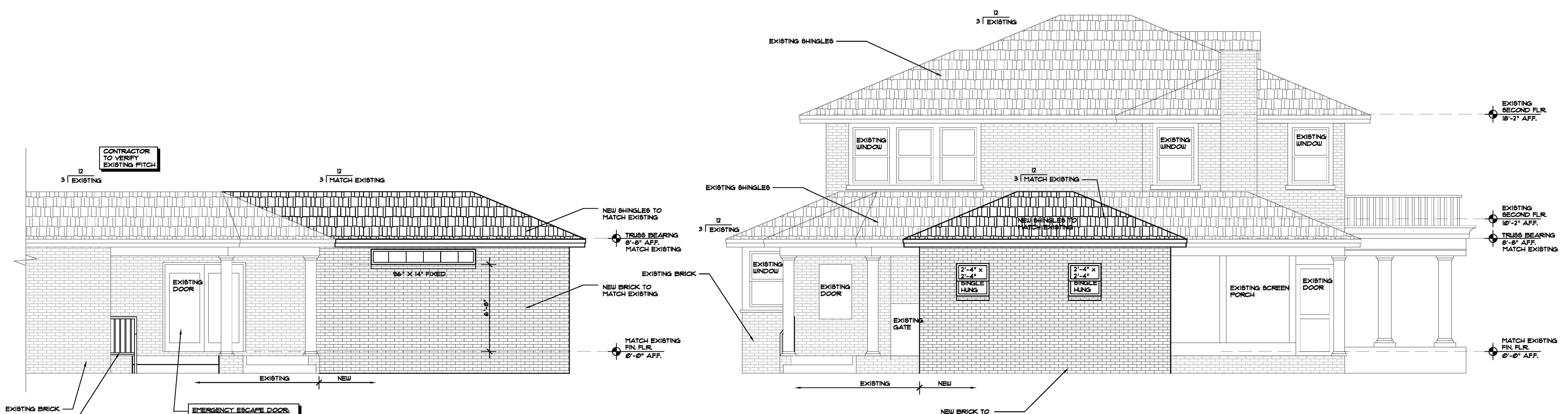
NO WORK IS THIS AREA

EXISTING PORCH  
 EXISTING FIN. FLR. (-) 0'-4\"/>

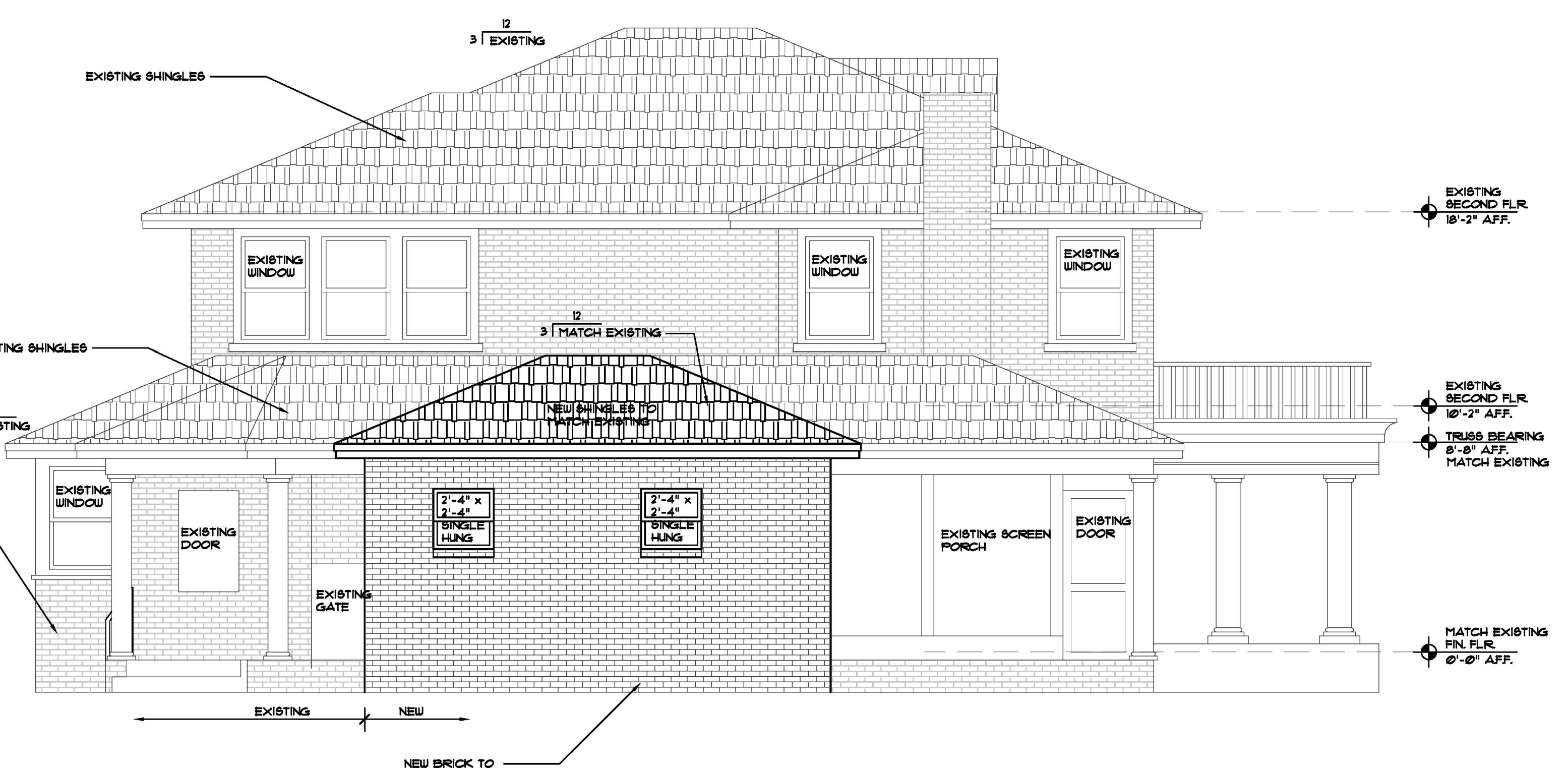
EXISTING KITCHEN



**PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



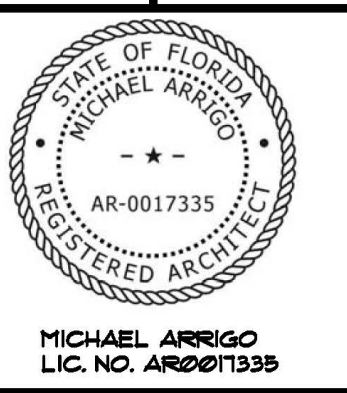
**PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**Elevations**

Project No. 2020-062R	Revisions
Date May 27, 2020	



MICHAEL ARRIEGO  
LIC. NO. AR2017335



ALONA DISNEY  
727-458-0837  
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# ANDERSEN CORPORATION, INC

## 400 SERIES TILT-WASH DOUBLE-HUNG WINDOW (IMPACT)

**INSTALLATION NOTES:**

1. ONE (1) INSTALLATION ANCHOR CLIP IS REQUIRED AT EACH ANCHOR LOCATION SHOWN, UNLESS OTHERWISE STATED.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF ±1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
4. FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE ONE (1) 3/16 INCH ITW TAPCON PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
5. FOR INSTALLATION INTO 2X BUCK USE TWO (2) #8 WOOD SCREWS OR ONE (1) #10 WOOD SCREW PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
6. FOR INSTALLATION THROUGH METAL STUD USE TWO (2) #10 SELF-TAPPING SCREWS PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION BEYOND METAL FRAME SUBSTRATE.
7. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
8. INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
9. FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
10. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
11. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90
  - D. STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 33 MILS.
  - E. ALUMINUM - MINIMUM WALL THICKNESS OF 3/8". 6063-T5 ALLOY OR BETTER.

**GENERAL NOTES:**

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 6TH EDITION FLORIDA BUILDING CODE, EXCLUDING HVHZ AREAS. THE PRODUCT HAS BEEN EVALUATED TO THE FOLLOWING:
  - AAMA/WDMA/CSA 101/1.5.2/A440-05
  - ASTM E1886-02
  - ASTM E1996-06
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, 2X AND METAL STUD FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
3. 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
4. THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
5. APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED TO PROTECT THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE, IN WIND ZONES 3 OR LESS.
6. WINDOW FRAME MATERIAL: PONDEROSA PINE (MIN. S.G. = 0.40) OR EQUIVALENT.
7. GLASS MEETS THE REQUIREMENTS OF ASTM E1300 GLASS CHARTS. SEE SHEET 4 FOR GLAZING DETAILS.
8. DESIGNATIONS "X" AND "O" STAND FOR THE FOLLOWING:
  - X: OPERABLE PANEL
  - O: FIXED PANEL

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	C	GENERAL & INSTALLATION NOTES
2	A	ELEVATION & ANCHOR LAYOUTS
3	A	VERTICAL SECTIONS
4	A	HORIZONTAL SECTIONS & GLAZING DETAIL
5	A	COMPONENTS
6	A	COMPONENTS & BILL OF MATERIALS

DESIGN PRESSURE RATING		
GLAZE TYPE	DESIGN PRESSURE - ALL SIZES	MISSILE IMPACT RATING
1	+50.0 / -65.0 PSF	SMALL AND LARGE MISSILE IMPACT RATED
2		
3		

Digitally signed by Hermes F. Norero, P.E.  
Reason: I am approving this document  
Date: 2017.06.23 11:21:47 -04'00'



100 FOURTH AVE N NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: SERIES 400 TILT WASH DH  
 GENERAL AND  
 INTALLATIONS NOTES  
 PREPARED BY:  
 BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD. #338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478 FX: (954) 744-4738

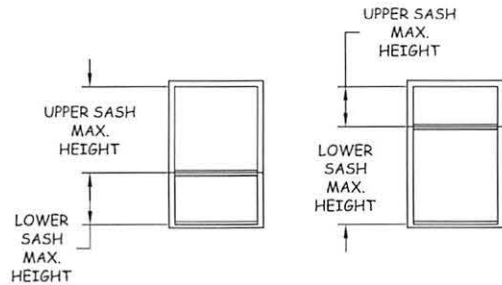
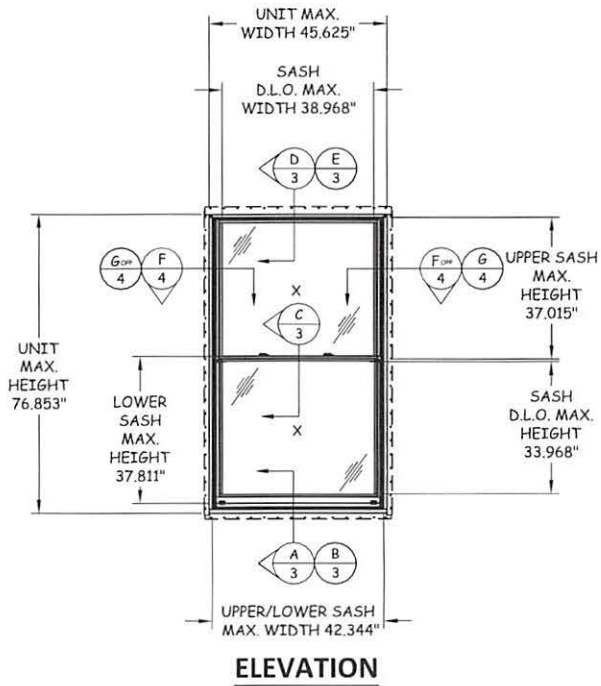
**REVISIONS**

NO.	DESCRIPTION	BY	DATE
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B	5TH EDITION CODE CHANGE	SM	04.14.15
C	6TH EDITION CODE CHANGE	LS	06.16.17



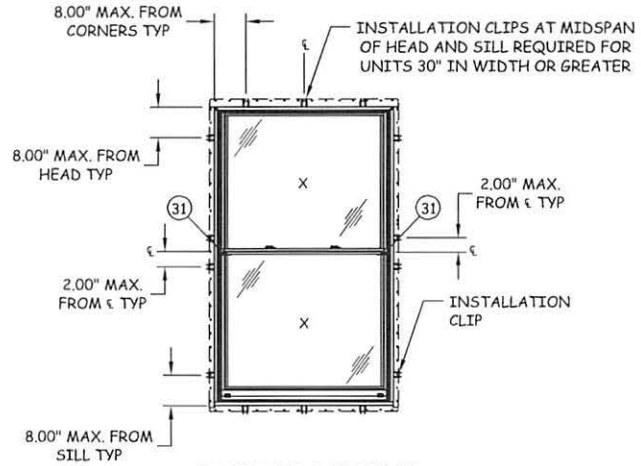
DATE: 12.14.07  
 DWN BY: BD  
 CHK BY: DB  
 SCALE: NTS

DWG #: **AWD002**  
 SHEET: **1 OF 6**



NOTE: COTTAGE & REVERSE COTTAGE DOUBLE HUNG WINDOWS APPROVED SUCH THAT MAXIMUM SASH HEIGHTS DO NOT EXCEED 38\".

NOTE: ONE (1) #8 X 3\" SCREW WHEN INTO WOOD OR METAL STUD OR ONE (1) 3/16\" ITW TAPCON WHEN INTO CONCRETE/MASONRY THROUGH ITEM #31



ANCHOR SCHEDULE					
QTY PER CLIP	SUBSTRATE	ANCHOR TYPE	MIN. EMBEDMENT (in.)	MIN. EDGE DISTANCE (in.)	MIN. O.C. DISTANCE (in.)
1	WOOD	#10 WOOD ANCHOR	1.50	0.75	N/A
2	WOOD	#8 WOOD ANCHOR	1.50	0.75	N/A
1	CONCRETE / MASONRY	3/16\" ITW TAPCON	1.25	2.50	3.00
2	METAL STUD	#10 SELF-TAPPING SCREW	3 THREADS	0.50	N/A



100 FOURTH AVE N NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: SERIES 400 TILT WASH DH  
ELEVATION AND ANCHOR LAYOUT  
PREPARED BY:  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD. #338  
DANIA BEACH, FL 33004  
PH: (954) 399-8478 FX: (954) 744-4738

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
1	2010 FBC CODE CHANGE	MS	2.21.12



DATE: 12.14.07  
DWN BY: BD  
CHK BY: DB  
SCALE: NTS

DWG #: **AWD002**  
SHEET: **2 OF 6**





100 FOURTH AVE N NORTH BAYPORT, MN 55003-1096  
 PH: (651) 264-9150 FX: (651) 264-5485

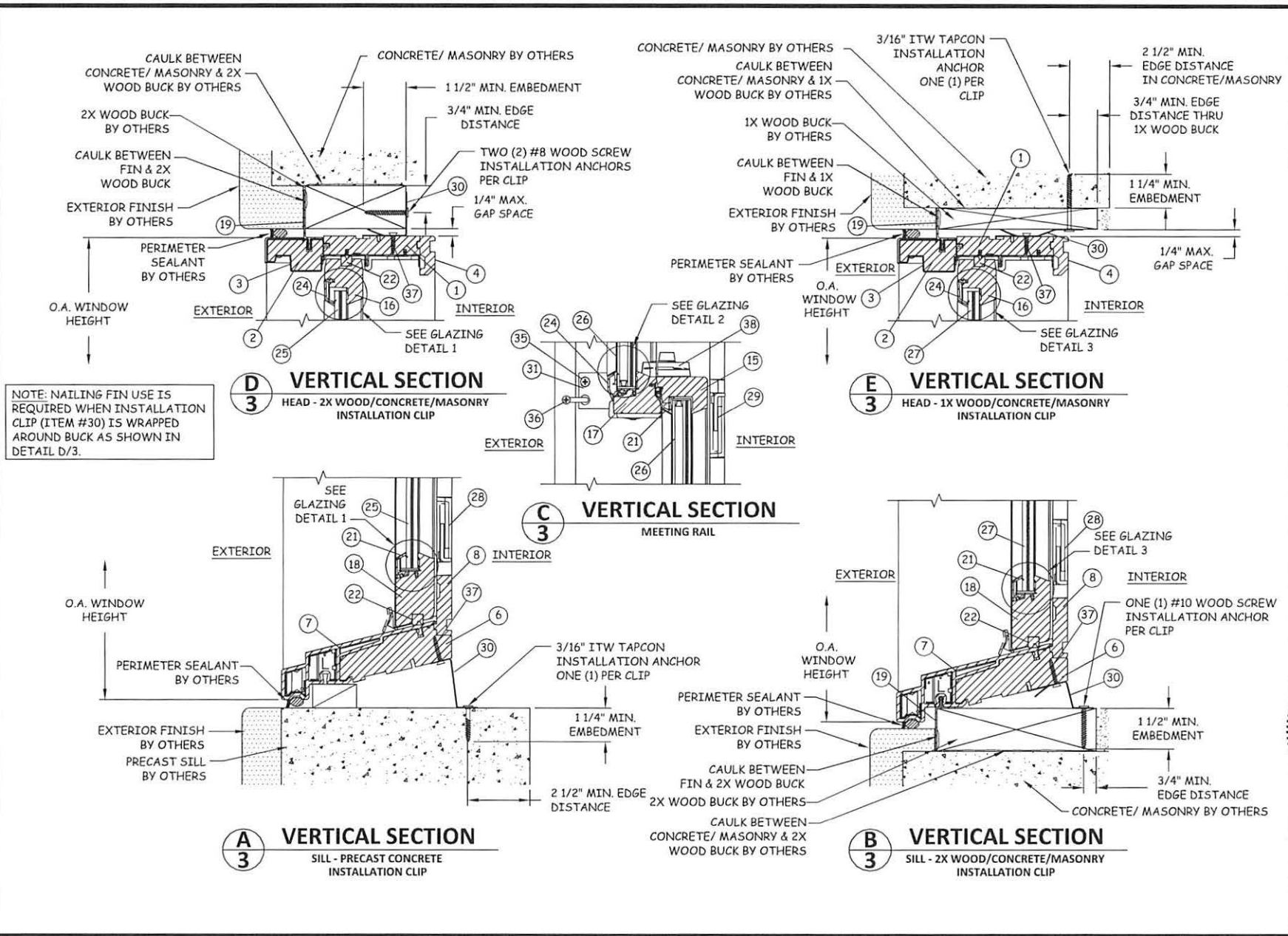
TITLE: SERIES 400 TILT WASH DH  
 VERTICAL SECTIONS  
 PREPARED BY:  
 BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD. #338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478 FX: (954) 744-4738

NO.	DESCRIPTION	BY	DATE
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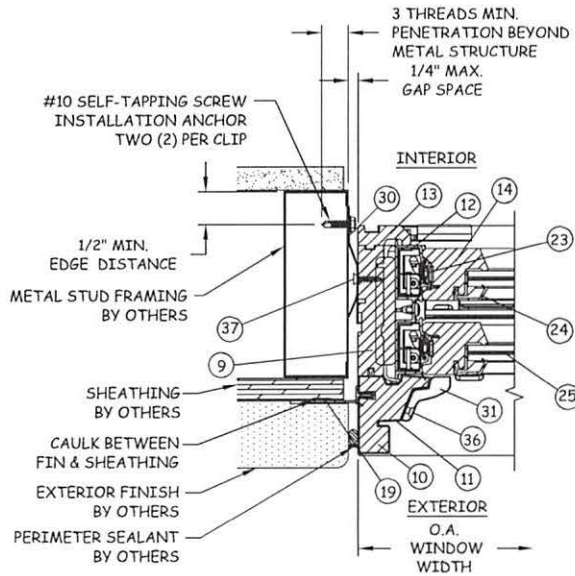


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SCALE:	NTS

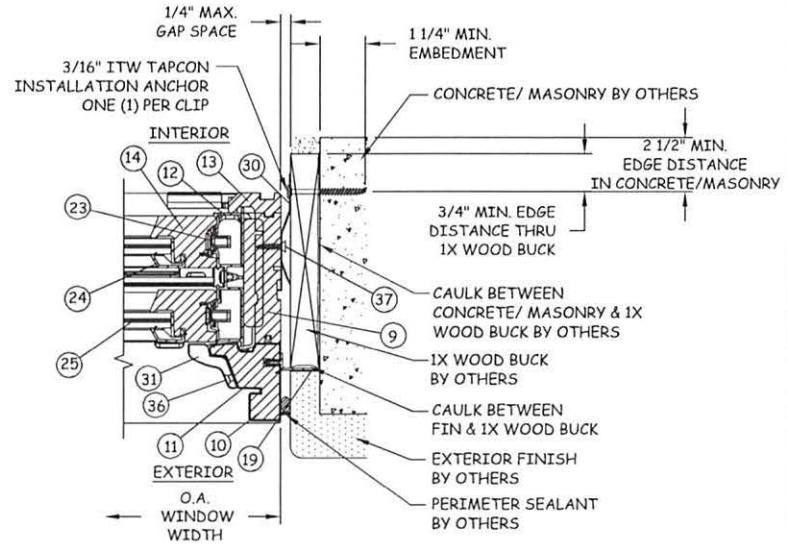
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 SHEET: 3 OF 6



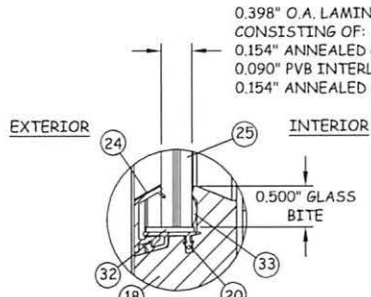
NOTE: NAILING FIN USE IS REQUIRED WHEN INSTALLATION CLIP (ITEM #30) IS WRAPPED AROUND BUCK AS SHOWN IN DETAIL D/3.



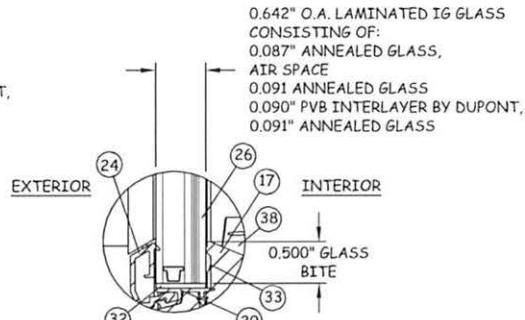
**F**  
**4** **HORIZONTAL SECTION**  
JAMB - STEEL STUD FRAME  
INSTALLATION CLIP



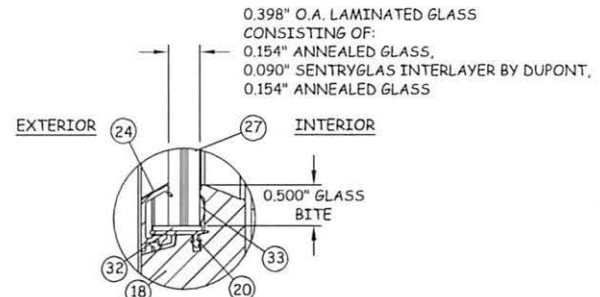
**G**  
**4** **HORIZONTAL SECTION**  
JAMB - 1X WOOD/CONCRETE/MASONRY  
INSTALLATION CLIP



**GLAZING DETAIL 1**



**GLAZING DETAIL 2**



**GLAZING DETAIL 3**

**Andersen**  
**AW**  
WINDOWS • DOORS  
100 FOURTH AVE N NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: SERIES 400 TILT WASH DH  
HORIZONTAL SECTIONS AND  
GLAZING DETAILS  
PREPARED BY:  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD. #338  
DANIA BEACH, FL 33004  
PH: (954) 399-8478 FX: (954) 744-4738

NO.	DESCRIPTION	BY	DATE
A	2010 FBC CODE CHANGE	MS	2.21.12



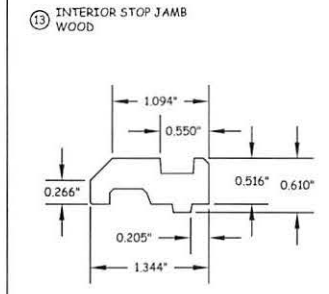
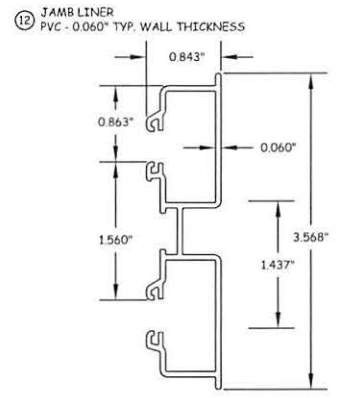
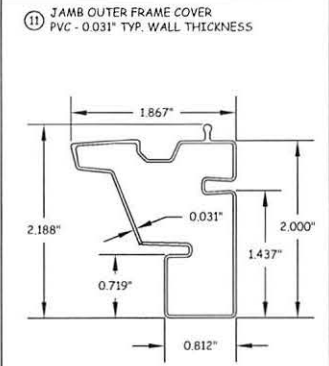
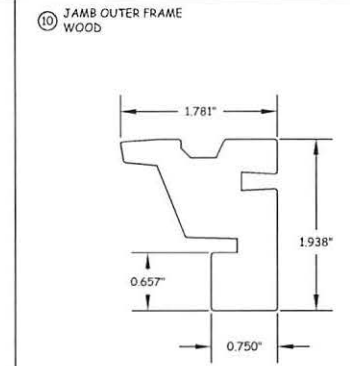
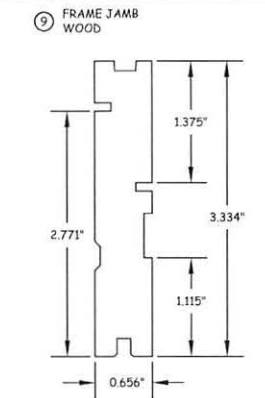
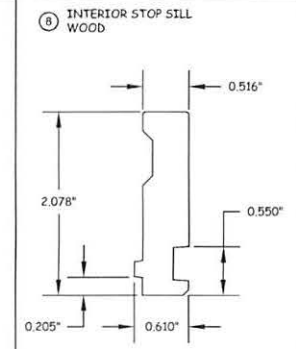
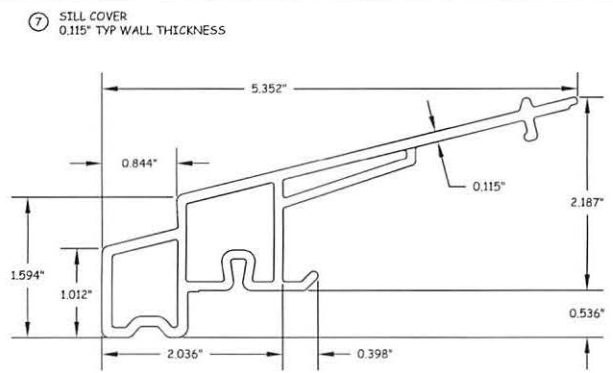
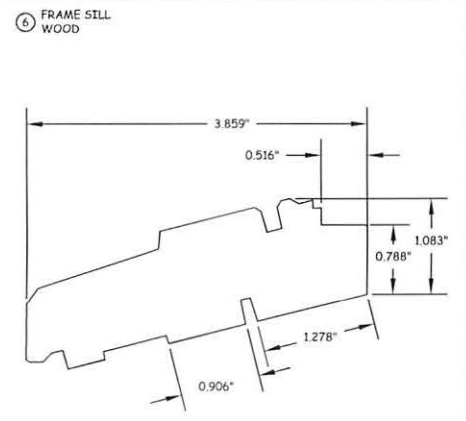
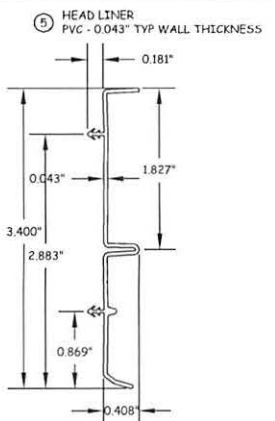
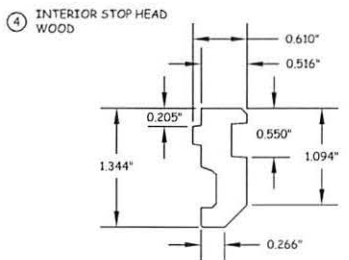
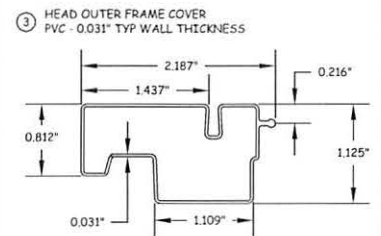
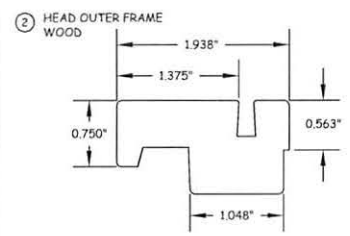
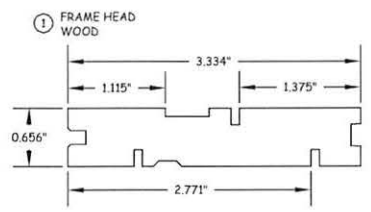
DATE:	12.14.07
DWN BY:	BD
CHK BY:	DB
SCALE:	NTS

DWG #: **AWD002**  
SHEET: **4 OF 6**



100 FOURTH AVE N NORTH  
 BAYPORT, MN 55003-1096  
 PH: (651) 264-5150 FX: (651) 264-5485

TITLE: SERIES 400 TILT WASH DH COMPONENTS  
 PREPARED BY: BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD. #338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478 FX: (954) 744-4738



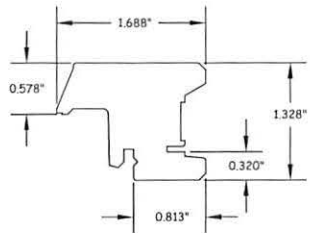
REVISIONS

NO.	DESCRIPTION	BY	DATE
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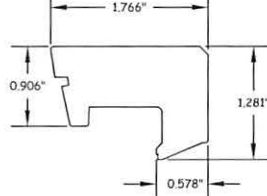


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 CHK BY: DB  
 SCALE: NTS  
 DWG #: AWD002  
 SHEET: 5 OF 6

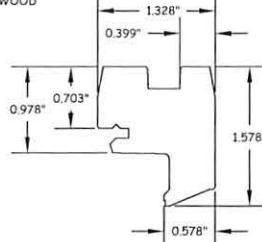
14 SASH FRAME JAMB WOOD



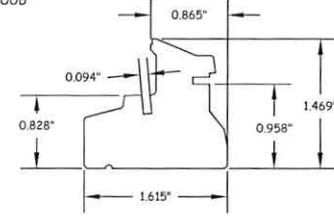
15 LOWER SASH FRAME HEAD WOOD



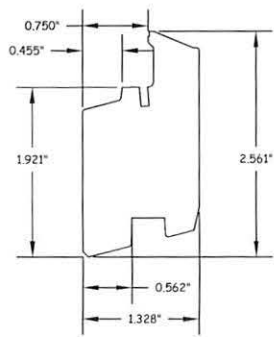
16 UPPER SASH FRAME HEAD WOOD



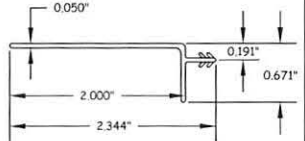
17 UPPER SASH FRAME SILL WOOD



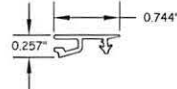
18 LOWER SASH FRAME SILL WOOD



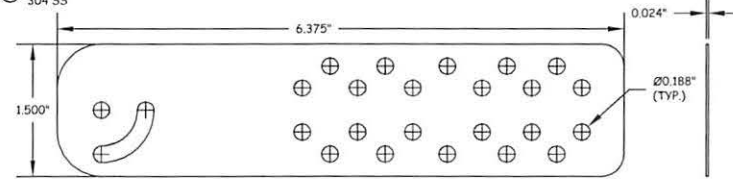
19 NAILING FIN PVC - 0.050\"/>



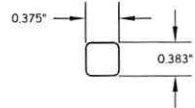
20 SASH SILL LINER PVC



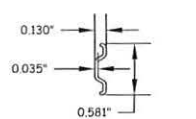
30 INSTALLATION CLIP 304 SS



22 SASH RAIL INSERT



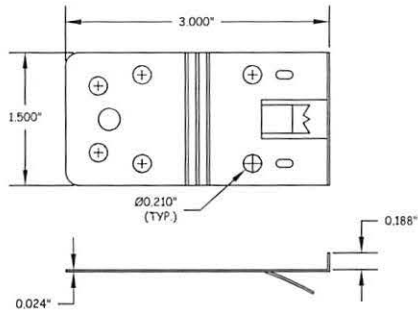
23 JAMB GROOVE LINER PVC - 0.035\"/>



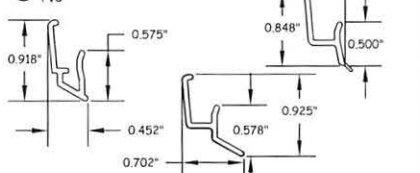
BILL OF MATERIALS

NO	PART NUMBER	DESCRIPTION	MATERIAL	MANUFACTURER
1		FRAME HEAD	WOOD	ANDERSEN
2		HEAD OUTER FRAME	WOOD	ANDERSEN
3		HEAD OUTER FRAME COVER	PVC	ANDERSEN
4		INTERIOR STOP HEAD	WOOD	ANDERSEN
5		HEAD LINER	PVC	ANDERSEN
6		FRAME SILL	WOOD	ANDERSEN
7		SILL COVER	PVC	ANDERSEN
8		INTERIOR STOP SILL	WOOD	ANDERSEN
9		FRAME JAMB	WOOD	ANDERSEN
10		JAMB OUTER FRAME	WOOD	ANDERSEN
11		JAMB OUTER FRAME COVER	PVC	ANDERSEN
12		JAMB LINER	PVC	ANDERSEN
13		INTERIOR STOP JAMB	WOOD	ANDERSEN
14		SASH FRAME JAMB	WOOD	ANDERSEN
15		LOWER SASH FRAME HEAD	WOOD	ANDERSEN
16		UPPER SASH FRAME HEAD	WOOD	ANDERSEN
17		UPPER SASH FRAME SILL	WOOD	ANDERSEN
18		LOWER SASH FRAME SILL	WOOD	ANDERSEN
19		NAILING FIN	PVC	ANDERSEN
20		SASH SILL LINER	PVC	ANDERSEN
21		LOWER SASH HEAD GLAZING STOP	PVC	ANDERSEN
22		SASH RAIL INSERT	PVC	ANDERSEN
23		JAMB GROOVE LINER	PVC	ANDERSEN
24		SASH GLAZING STOP	PVC	ANDERSEN
25		0.398\"/>		
26		0.642\"/>		
27		0.398\"/>		
28		WIND LOAD BRACKET, LH	STEEL	ANDERSEN
29		WIND LOAD BRACKET, RH	STEEL	ANDERSEN
30		INSTALLATION CLIP	304 SS	ANDERSEN
31		OFM BRACKET	ZINC ALLOY	
32		SETTING BLOCK		
33		GE S6S 7700	SILICONE	GE
34		WEATHER STRIPPING	POLYPROPYLENE	
35		#8-15 X 1-1/4\"/>		
36		#8-15 X 3\"/>		
37		#8-15 X 1\"/>		
38		SASH LOCK ASSEMBLY	ZINC ALLOY	

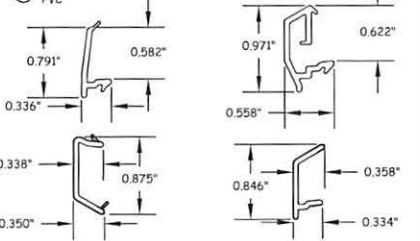
30 INSTALLATION CLIP 304 SS



21 LOWER SASH HEAD GLAZING STOP PVC



24 SASH GLAZING STOP PVC



NOTE: ALL WOOD TO BE PONDEROSA PINE OR EQUAL



100 FOURTH AVE N NORTH BAYPORT, MN 55003-1096 PH: (651) 264-5150 FX: (651) 264-5485

TITLE: SERIES 400 TILT WASH DH COMPONENTS AND BILL OF MATERIALS PREPARED BY: BUILDING DROPS, INC. 398 E. DANIA BEACH BLVD. #338 DANIA BEACH, FL 33004 PH: (954) 399-8478 FX: (954) 744-4738

REVISIONS

NO.	DESCRIPTION	DATE	BY	MS
A	2010 FBC CODE CHANGE	2.21.12		



DATE: 12.14.07 DWN BY: BD CHK BY: DB SCALE: NTS

DWG #: AWD002 SHEET: 6 OF 6



# BUILDING DROPS

A Perfect Solution in Every Drop  
Certificate of Authorization: 29578

398 E. Dania Beach Blvd.  
Suite 338  
Dania Beach, FL 33004  
954.399.8478 PH  
954.744.4738 FX  
contact@buildingdrops.com

## Product Evaluation Report

*of*

**Andersen Corporation**  
**“400 Series Tilt-Wash”**  
**Double Hung Window**

*for*

**Florida Product Approval**

**FL# FL15752**

**Report No. 4909**

**6<sup>th</sup> Edition Florida Building Code**

**Method:** 1 – D (Engineering Evaluation)  
**Category:** Windows  
**Sub – Category:** Double Hung

**Product:** 400 Series Tilt-Wash Double Hung Window  
**Material:** Wood/PVC  
**Product Dimensions:** 45-5/8” x 76-7/8”

**Prepared For:**  
**Andersen Corporation**  
**100 Fourth Avenue N**  
**Bayport, MN 55003-1096**

**Prepared by:**  
**Hermes F. Norero, P.E.**  
Florida Professional Engineer # 73778  
Date: 06/16/2017

Contents:  
Evaluation Report Pages 1 – 4

Digitally signed by Hermes F. Norero, P.E.  
Reason: I am approving this document  
Date: 2017.06.16 17:41:46 -04'00'



Hermes F. Norero, P.E.  
Florida No. 73778



# BUILDING DROPS

A Perfect Solution in Every Drop  
Certificate of Authorization: 29578

FL#: **FL15752**  
Date: 06/16/2017  
Report No: 4909

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**Manufacturer:** Andersen Corporation  
**Product Category:** Windows  
**Product Sub-Category:** Double Hung  
**Compliance Method:** State Product Approval Method (1)(d)  
**Product Name:** **400 Series Tilt-Wash Double Hung Window**  
45-5/8" x 76-7/8"

**Scope:** This is a Product Evaluation Report issued by Hermes F. Norero, P.E. (FL # 73778) for **Andersen Corporation** based on Method 1d of the State of Florida Product Approval, Florida Department of Business and Professional Regulation - Florida Building Commission.

Hermes F. Norero, P.E. does not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named herein.

This product has been evaluated for use in locations adhering to the 6<sup>th</sup> Edition Florida Building Code.

See Installation Instructions **AWD002**, signed and sealed by Hermes F. Norero, P.E. (FL # 73778) for specific use parameters.

## Limits of Use:

1. This product has been evaluated and is in compliance with the 6<sup>th</sup> Edition Florida Building Code, excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment into substrate material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Chapter 16 of the 6<sup>th</sup> Edition Florida Building Code and **does not** require an impact resistant covering.
4. Site conditions that deviate from the details of drawing **AWD002** require further engineering analysis by a licensed engineer or registered architect.
5. See Installation Instructions **AWD002** for size and design pressure limitations.



# BUILDING DROPS

A Perfect Solution in Every Drop

Certificate of Authorization: 29578

FL#: **FL15752**  
Date: 06/16/2017  
Report No: 4909

---

**Quality Assurance:** The manufacturer has demonstrated compliance of products in accordance with the Florida Building Code for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Window and Door Manufacturers Association** (FBC Organization #: QUA2515).

**Performance Standards:** The product described herein has been tested per:

- AAMA/WDMA/CSA 101/I.S.2/A440-05/08
- ASTM E 1886-02/05
- ASTM E 1996-05

**Referenced Data:**

1. Product Testing performed by **Architectural Testing, Inc.** (FBC Organization # TST1795)  
Report #: 70550.02-201-44, Report Date: 04/09/07  
Report #: 70550.05-201-44, Report Date: 04/09/07  
Report #: 70551.02-201-44, Report Date: 04/04/07  
Report #: 70551.05-201-44, Report Date: 04/04/07  
Report #: 71931.05-201-44, Report Date: 04/09/07  
Report #: A5578.04-201-47, Report Date: 06/22/11  
Report #: A5578.01-201-47, Report Date: 01/20/11  
Report #: A5579.01-201-47, Report Date: 01/20/11  
Report #: A5579.04-201-47, Report Date: 06/22/11
2. Quality Assurance  
**Window and Door Manufacturers Association**  
(FBC Organization #: QUA2515)



# BUILDING DROPS

A Perfect Solution in Every Drop

Certificate of Authorization: 29578

FL#: **FL15752**

Date: 06/16/2017

Report No: 4909

**Installation:** 1. Approved anchor types and substrates are as follows:

- A. For two by (2X) wood frame substrate, use **two (2) #8 Wood Screws** or **one (1) #10 wood screw** per clip of sufficient length to achieve minimum embedment of 1.50" into wood framing.
- B. For concrete or masonry substrate where one by (1X), non-structural, wood bucking is employed or directly into substrate, use **one (1) 3/16" diameter ITW Tapcon** type concrete screw anchors, per clip, of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- C. For metal structure, use **two (2) #10 Self-Tapping Screws** per clip of sufficient length to achieve 3 threads of minimum penetration beyond metal structure.

Refer to Installation Instructions (**AWD002**) for anchor spacing and more details of the installation requirements.

**Design Pressure:**

Design Pressure

+50/-65 PSF

Hermes F. Norero, P.E.

Florida No. 73778

Page 4 of 4



C:\Users\jacob@andersen.com\Documents\15-0159051\windows\windows\15-0159051\15-0159051-31.dwg (11/15/2018 5:05 PM)

# ANDERSEN CORPORATION, INC

## 400 SERIES CASEMENT FIXED/SPECIALTY, DOUBLE-HUNG HALF CIRCLE, AND ELLIPTICAL WINDOWS (IMPACT)

**INSTALLATION NOTES:**

1. ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN, UNLESS OTHERWISE STATED.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF ±1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
4. INSTALLATION CLIP: FOR INSTALLATION THROUGH 2X WOOD FRAME USE TWO (2) #8 WOOD SCREW OR ONE (1) #10 WOOD SCREW PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE. INSTALLATION CLIP MAY BE USED FLAT AGAINST 2X WOOD BUCK OR BENT AROUND 2X WOOD BUCK.
5. INSTALLATION CLIP: FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/ MASONRY, USE ONE (1) 3/16 INCH ITW TAPCON PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
6. INSTALLATION CLIP: FOR INSTALLATION THROUGH METAL STUD USE TWO (2) #8 SELF-DRILLING SCREWS PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION THROUGH METAL FRAME SUBSTRATE.
7. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
8. INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
9. FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
10. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
11. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
  - D. STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 33 MILS (20 GAUGE).
  - E. ALUMINUM - 1/8" MINIMUM THICKNESS (6063-T5).

**GENERAL NOTES:**

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 6TH EDITION FLORIDA BUILDING CODE (FBC), INCLUDING HVHZ AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
  - TAS 201-94
  - TAS 202-94
  - TAS 203-94
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, 2X AND METAL STUD FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
3. 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
4. THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
5. APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED TO PROTECT THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.
6. WINDOW FRAME MATERIAL: *PONDEROSA PINE OR EQUAL* MINIMUM SPECIFIC GRAVITY OF 0.40.
7. GLASS MEETS THE REQUIREMENTS OF ASTM E1300 GLASS CHARTS. SEE SHEET 6 FOR GLAZING DETAILS.
8. DESIGNATIONS "X" AND "O" STAND FOR THE FOLLOWING:  
X: OPERABLE PANEL  
O: FIXED PANEL
9. IN ACCORDANCE WITH THE (2017) FBC, WOOD COMPONENTS SHALL HAVE BEEN PRESERVATIVE TREATED OR SHALL BE OF A DURABLE SPECIES AS PER CH. 23 OF THE FBC.
10. LVL FRAME MATERIAL COMPLIES WITH APPLICABLE FBC STANDARDS FOR STRUCTURAL COMPOSITE LUMBER.
11. CUSTOM SIZES AVAILABLE UPON REQUEST.

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	B	GENERAL & INSTALLATION NOTES
2	-	ELEVATIONS
3	-	ANCHOR LAYOUTS
4	-	VERTICAL & HORIZONTAL SECTIONS
5	-	VERTICAL SECTIONS
6	-	GLAZING DETAILS
7	-	COMPONENTS & BILL OF MATERIALS

UNIT	DESIGN PRESSURE	IMPACT RATING
P5060	+ 70.0 / - 80.0 PSF	LARGE & SMALL MISSILE IMPACT RATED
ET8		
CTC3		
CTR6010		

NOTE: SEE SHEET 6 FOR APPLICABLE GLAZING OPTIONS



100 FOURTH AVE NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES CASEMENT FIXED/SPECIALTY, DOUBLE-HUNG HALF CIRCLE, AND ELLIPTICAL WINDOWS (IMPACT) GENERAL & INSTALLATION NOTES

PREPARED BY: BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 994-8478  
FAX: (954) 994-8738  
WEB: www.buildingdrops.com



REMARKS	BY	DATE
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	HR	10.1.17

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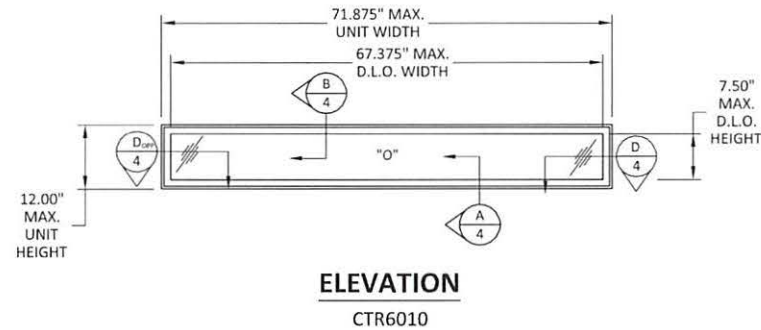
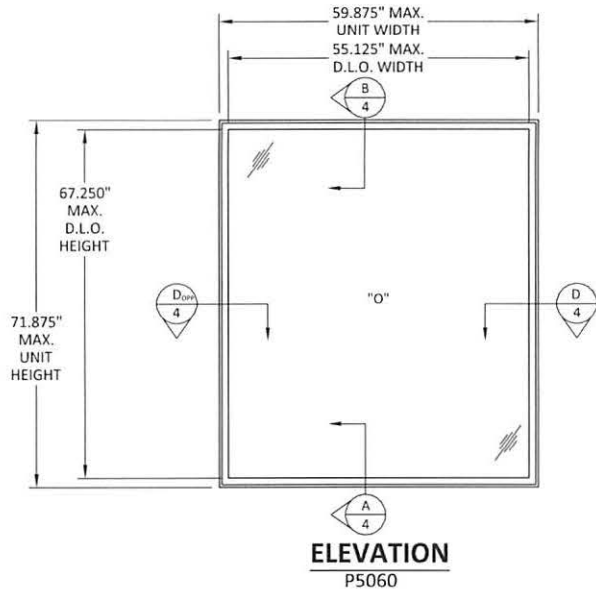
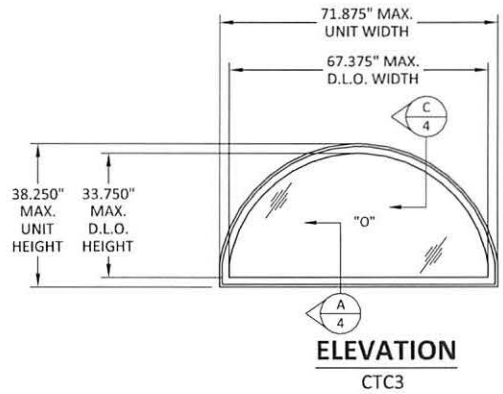
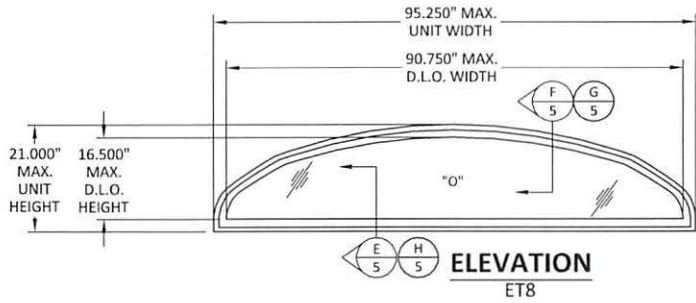
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Reason: I am approving this document  
Date: 2018.10.01 10:25:40 -0400



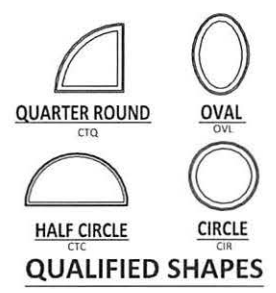
HERBERT J. NORERO, P.E.  
FLORIDA P.E. No. 73778  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., # 338  
DANIA BEACH, FL 33004  
FBPE CERT. OF AUTHORIZATION No. 29578

FL #:	FL15905
DATE:	10.01.17
DWG. BY:	CHK. BY:
HR	HFN
SCALE:	NTS
DWG. #:	AWD183
SHEET:	1

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**NOTE:**  
WINDOW WIDTH (W) AND HEIGHT (H) ARE INTERCHANGEABLE FOR ALL SIZES SHOWN HEREIN NOT TO EXCEED MAXIMUM TESTED SQUARE FOOT AREA. ANCHOR SPACING SHALL NOT EXCEED THOSE SHOWN FOR LONG OR SHORT LEG OF UNIT.



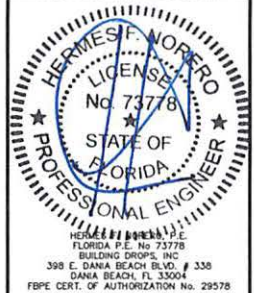
100 FOURTH AVE NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

**TITLE: 400 SERIES CASEMENT FIXED/SPECIALTY, DOUBLE-HUNG HALF CIRCLE, AND ELLIPTICAL WINDOWS (IMPACT) ELEVATIONS**

PREPARED BY:  
**BUILDING DROPS, INC.**  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 999-8878  
FAX: (954) 999-8878  
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5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	HR	10.1.17

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FL #: **FL15905**

DATE: **10.01.17**

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SCALE: **NTS**

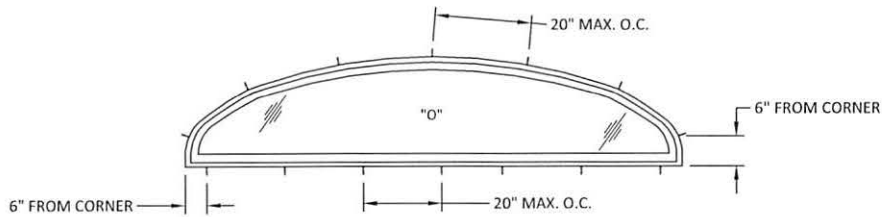
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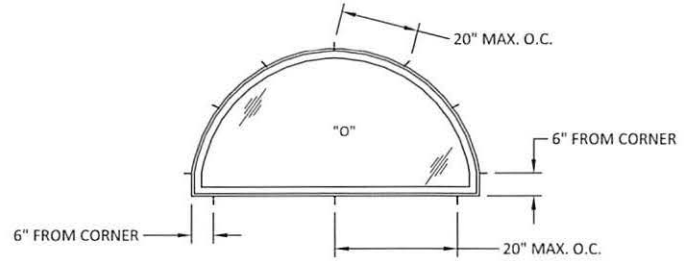
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OF 7

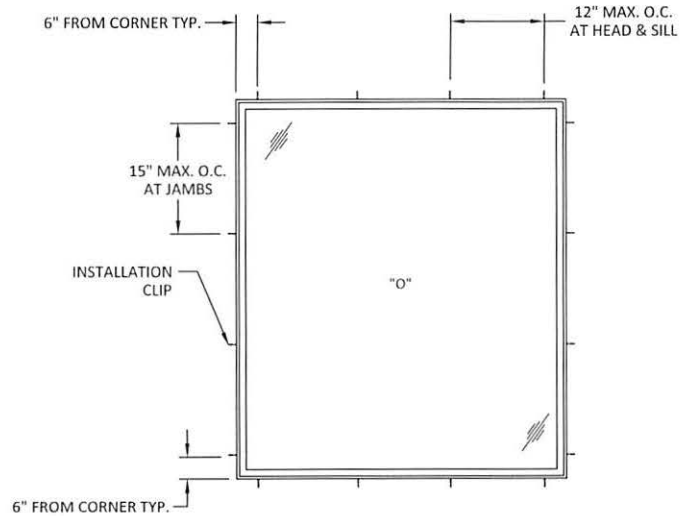
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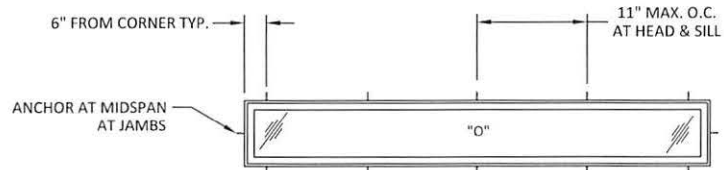
**ANCHOR LAYOUT**  
ET - UNITS



**ANCHOR LAYOUT**  
CTC, CTQ, CIR, OVL - UNITS



**ANCHOR LAYOUT**  
P - UNITS



**ANCHOR LAYOUT**  
CTR - UNITS



300 FOURTH AVE NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES CASEMENT  
FIXED/SPECIALTY, DOUBLE-HUNG  
HALF CIRCLE, AND ELLIPTICAL  
WINDOWS (IMPACT)  
ANCHOR LAYOUTS

PREPARED BY:  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
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FAX: (954) 744-4738  
WEB: www.buildingdrops.com



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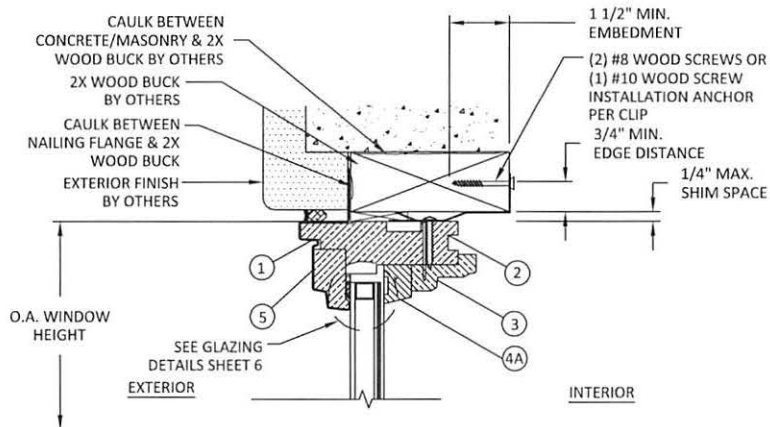


HERMES J. NORERO, P.E.  
FLORIDA P.E. No. 73778  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., # 338  
DANIA BEACH, FL 33004  
FBPE CERT. OF AUTHORIZATION No. 29578

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DWG. BY:	<b>HR</b>
CHK. BY:	<b>HFN</b>
SCALE:	<b>NTS</b>
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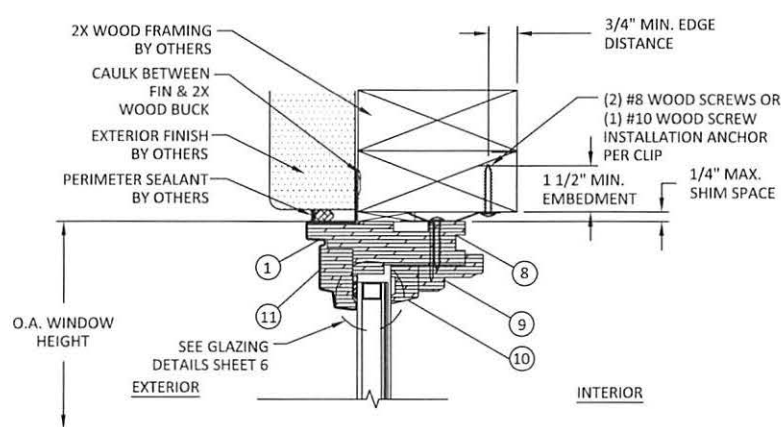
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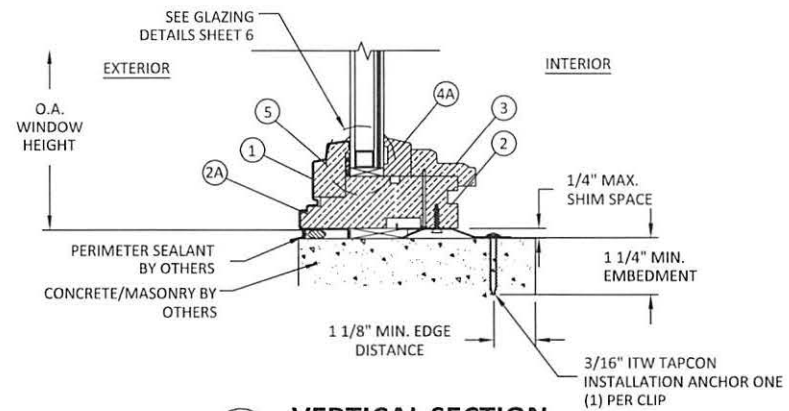


**B**  
**4** VERTICAL SECTION  
HEAD - 2X WOOD BUCK  
INSTALLATION CLIP

NOTE: NAILING FIN USE IS REQUIRED WHEN INSTALLATION CLIP IS WRAPPED AROUND BUCK AS SHOWN IN DETAIL B/4.

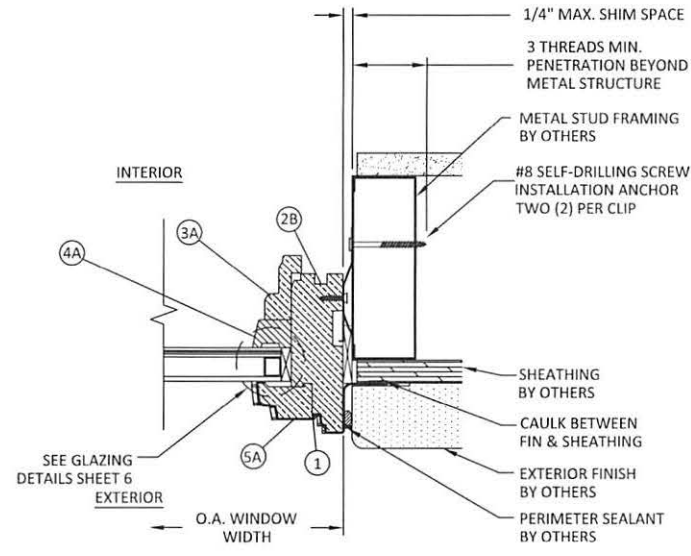


**C**  
**4** VERTICAL SECTION  
HEAD - 2X WOOD FRAME  
INSTALLATION CLIP



**A**  
**4** VERTICAL SECTION  
SILL - CONCRETE/MASONRY  
INSTALLATION CLIP

NOTE: OPTIONAL 1X WOOD BUCK MAY BE EMPLOYED.



**D**  
**4** HORIZONTAL SECTION  
JAMB - METAL STUD  
INSTALLATION CLIP



100 FOURTH AVE NORTH  
BAYPORT, MN 55003-1096  
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TITLE: 400 SERIES CASEMENT  
FIXED/SPECIALTY, DOUBLE-HUNG  
HALF CIRCLE, AND ELLIPTICAL  
WINDOWS (IMPACT)  
VERTICAL & HORIZONTAL SECTIONS

PREPARED BY:  
BUILDING DROPS, INC.  
398 E DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 744-4718  
FAX: (954) 744-4718  
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HERMES NORERO, P.E.  
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398 E DANIA BEACH BLVD., # 338  
DANIA BEACH, FL 33004  
FBPC CERT. OF AUTHORIZATION No. 29578

FL #:

**FL15905**

DATE: 10.01.17

DWG. BY: HR	CHK. BY: HFN
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SCALE: NTS

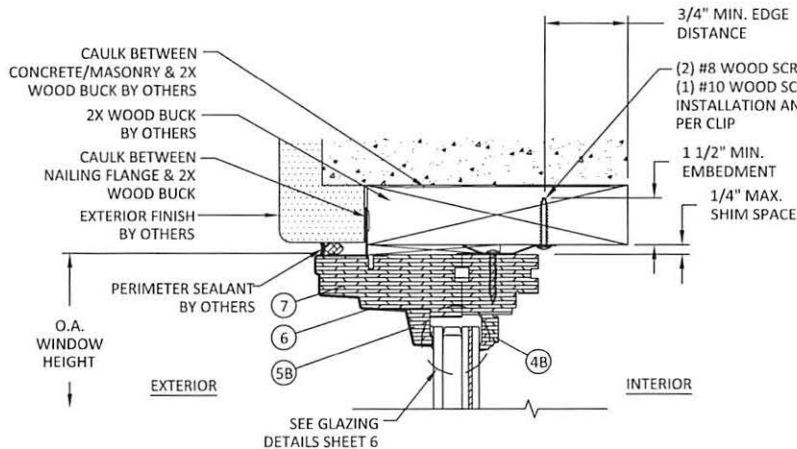
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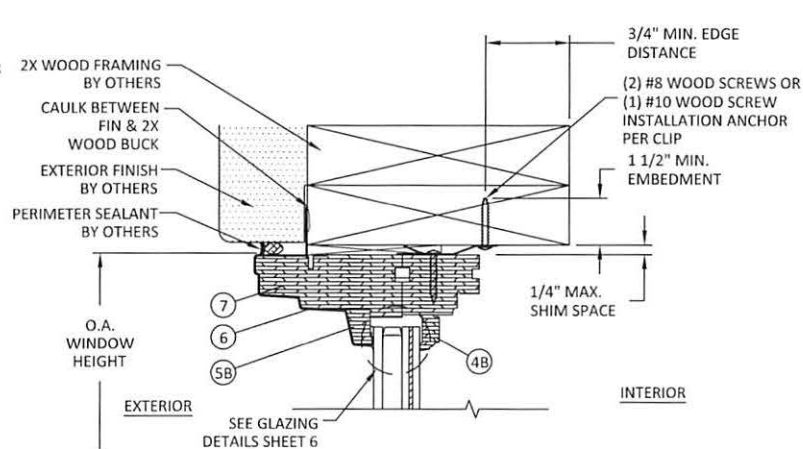
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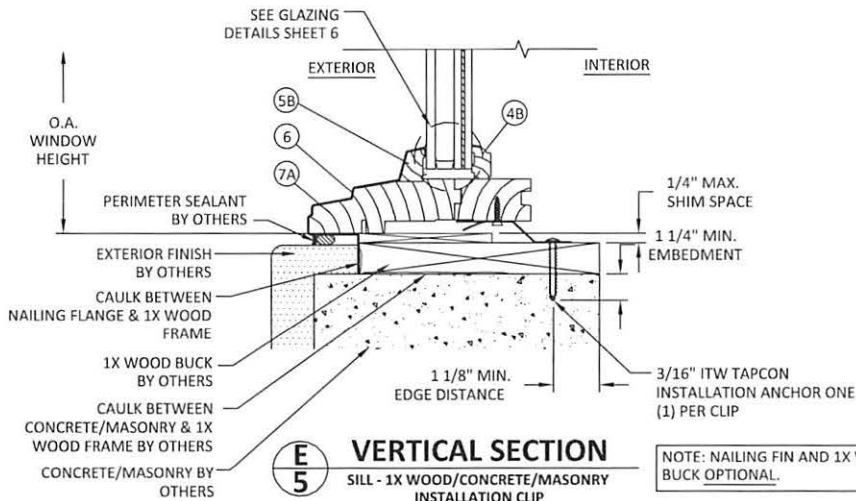
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**F**  
**5** VERTICAL SECTION  
HEAD - 2X WOOD BUCK  
INSTALLATION CLIP

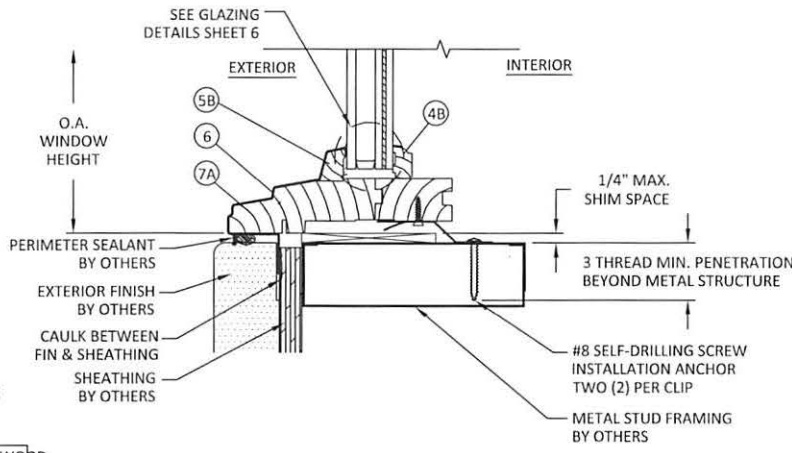


**G**  
**5** VERTICAL SECTION  
HEAD - 2X WOOD FRAME  
INSTALLATION CLIP



**E**  
**5** VERTICAL SECTION  
SILL - 1X WOOD/CONCRETE/MASONRY  
INSTALLATION CLIP

NOTE: NAILING FIN AND 1X WOOD BUCK OPTIONAL.



**H**  
**5** VERTICAL SECTION  
SILL - METAL STUD  
INSTALLATION CLIP



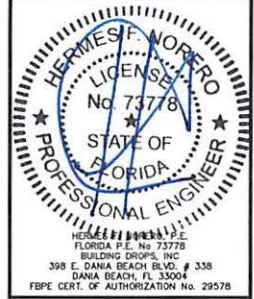
100 FOURTH AVE NORTH  
BAYPORT, MN 55003-1096  
PH: (651) 264-5150 FX: (651) 264-5465

TITLE: 400 SERIES CASEMENT  
FIXED/SPECIALTY, DOUBLE-HUNG  
HALF CIRCLE, AND ELLIPTICAL  
WINDOWS (IMPACT)  
VERTICAL SECTIONS

PREPARED BY:  
BUILDING DROPS, INC.  
198 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 399-8478  
FAX: (954) 724-4738  
WEB: www.buildingdrops.com

REMARKS	BY	DATE
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6TH FBC CODE CHANGE	HR	10.1.17

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FL #:

**FL15905**

DATE: 10.01.17

DWG. BY:	CHK. BY:
HR	HFN

SCALE: NTS

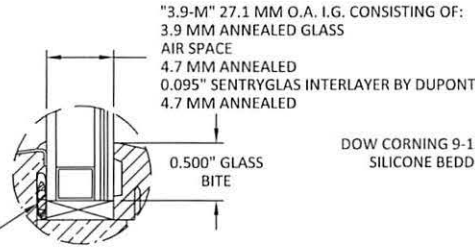
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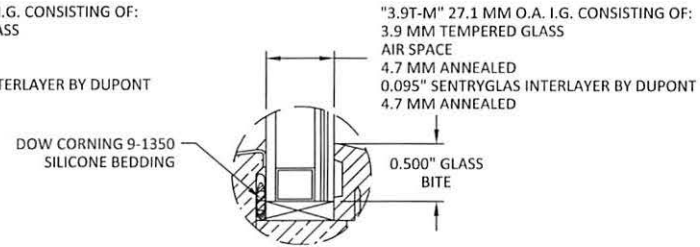
LARGE & SMALL MISSILE IMPACT RATED							
GLAZING TABLE FOR P-UNITS							
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P30	G1/G3	G1/G3	G1/G3	G1/G3	G1/G3	G1/G3	G1/G3
P35	G1/G3	G1/G3	G1/G3	G1/G3	G1/G3	G1/G2	G1/G2
P40	G1/G3	G1/G3	G1/G3	G1/G3	G1/G2	G1/G2	G1/G2
P45	G1/G3	G1/G3	G1/G3	G1/G2	G1/G2	G1/G2	G1/G2
P50	G1/G3	G1/G3	G1/G2	G1/G2	G1/G2	G1/G2	G1/G2
P55	G1/G3	G1/G2	G1/G2	G1/G2	G1/G2	N/A	N/A
P60	G1/G3	G1/G2	G1/G2	G1/G2	G1/G2	N/A	N/A



EXTERIOR INTERIOR

### GLAZING DETAIL 2

NOTE: GLAZING DETAIL 2 FOR USE WITH P-UNITS. SEE L.M.I. GLAZING TABLE FOR APPLICABLE SIZES.

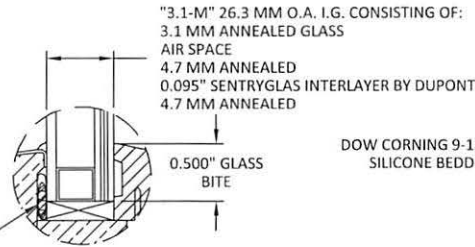


EXTERIOR INTERIOR

### GLAZING DETAIL 2T

NOTE: GLAZING DETAIL 2T FOR USE WITH P-UNITS. SEE L.M.I. & S.M.I. GLAZING TABLE FOR APPLICABLE SIZES.

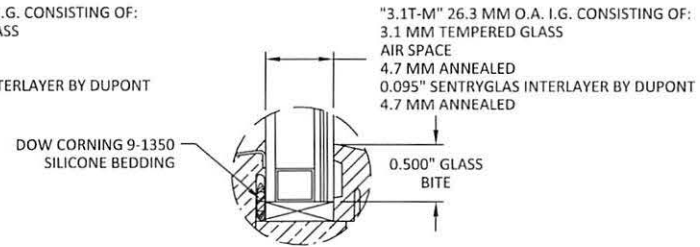
LARGE & SMALL MISSILE IMPACT RATED							
GLAZING TABLE FOR P-UNITS							
	P30	P35	P40	P45	P50	P55	P60
P30	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T
P35	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T
P40	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G2T
P45	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G2T	G1/G2T
P50	G1/G3T	G1/G3T	G1/G3T	G1/G3T	G1/G2T	G1/G2T	G1/G2T
P55	G1/G3T	G1/G3T	G1/G3T	G1/G2T	G1/G2T	N/A	N/A
P60	G1/G3T	G1/G3T	G1/G2T	G1/G2T	G1/G2T	N/A	N/A



EXTERIOR INTERIOR

### GLAZING DETAIL 3

NOTE: GLAZING DETAIL 3 FOR USE WITH P-UNITS AND CTR-UNITS. SEE L.M.I. GLAZING TABLE FOR APPLICABLE SIZES.

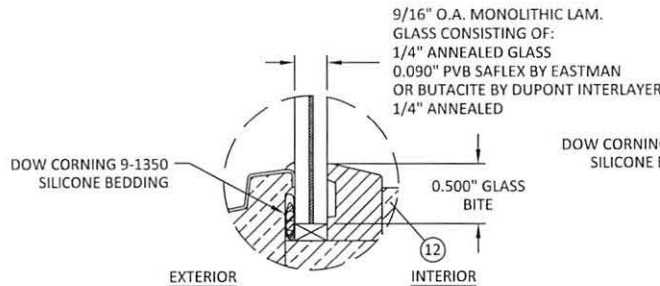


EXTERIOR INTERIOR

### GLAZING DETAIL 3T

NOTE: GLAZING DETAIL 3T FOR USE WITH P-UNITS AND CTR-UNITS. SEE L.M.I. & S.M.I. GLAZING TABLE FOR APPLICABLE SIZES.

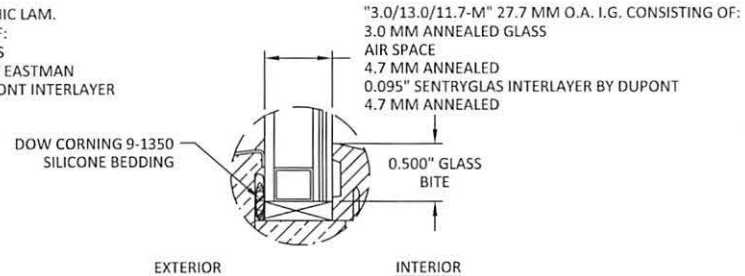
- GLAZING NOTES:
- GLASS TYPE AND THICKNESS SHALL COMPLY WITH ASTM E1300 REQUIREMENTS AS WELL AS APPLICABLE SAFETY GLAZING REQUIREMENTS PER THE FBC. THICKNESS, TEMPER, AND SAFETY GLAZING REQUIREMENTS SHALL BE REVIEWED ON A SITE SPECIFIC BASIS.
  - SETTING BLOCK DUROMETER HARDNESS OF 70-90 (SHORE A) AS REFERENCED IN FBC CHAPTER 24.
  - SETTING BLOCKS TO BE LOCATED AT 1/4 SPAN LENGTH FOR GLASS WIDER THAN 36" AS PER FBC CHAPTER 24.
  - D.L.O. AND DESIGN PRESSURES MAY NOT EXCEED MAX VALUES IN GLASS CHARTS.



EXTERIOR INTERIOR

### GLAZING DETAIL 1

NOTE: GLAZING DETAIL 1 FOR USE WITH ALL UNITS. L.M.I. & S.M.I. RATED.



EXTERIOR INTERIOR

### GLAZING DETAIL 4

NOTE: GLAZING DETAIL 4 FOR ET-UNITS & CTC-UNITS ONLY. L.M.I. & S.M.I. RATED.



100 FOURTH AVE NORTH  
 BAYPORT, MN 55003-1096  
 PH: (651) 264-5150 FX: (651) 264-5485

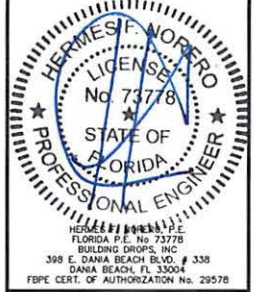
TITLE: 400 SERIES CASEMENT  
 FIXED/SPECIALTY, DOUBLE-HUNG  
 HALF CIRCLE, AND ELLIPTICAL  
 WINDOWS (IMPACT)  
 GLAZING DETAILS

PREPARED BY:  
 BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD., STE. 338  
 DANIA BEACH, FL 33004  
 PHONE: (954) 944-7777  
 FAX: (954) 944-8771  
 WEB: www.buildingdrops.com



REMARKS	BY	DATE
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	HR	10.1.17

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.



FL #:	FL15905		
DATE:	10.01.17		
DWG. BY:	HR	CHK. BY:	HFN
SCALE:	NTS		
DWG. #:	AWD183		
SHEET:	6		

L:\projects\andersen\windows\1505.1.1 - submittal - fixed window - update 07.17.14 - 11.05.2015.dwg 01.15.07.15 1505.1 - 1.dwg

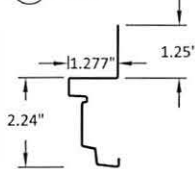
**BILL OF MATERIALS**

NO.	DESCRIPTION	MATERIAL	MANUFACTURER
1	EXTERIOR FRAME CLADDING	VINYL	ANDERSEN CORPORATION
2	FRAME - HEAD	WOOD	ANDERSEN CORPORATION
2A	FRAME - SILL	WOOD	ANDERSEN CORPORATION
2B	FRAME - JAMB	WOOD	ANDERSEN CORPORATION
3	I.G. TRIM STOP	WOOD	ANDERSEN CORPORATION
4A	I.G. GLASS STOP-INTERIOR	WOOD	ANDERSEN CORPORATION
4B	I.G. GLASS STOP-INTERIOR	WOOD	ANDERSEN CORPORATION
5	GLASS STOP EXTERIOR	WOOD	ANDERSEN CORPORATION
5A	GLASS STOP EXTERIOR	WOOD	ANDERSEN CORPORATION
5B	GLASS STOP EXTERIOR	WOOD	ANDERSEN CORPORATION
6	EXTERIOR FRAME CLADDING	VINYL	ANDERSEN CORPORATION
7	FRAME - HEAD/JAMB	WOOD	ANDERSEN CORPORATION
7A	FRAME - SILL	WOOD	ANDERSEN CORPORATION
8	LVL FRAME- HEAD	LVL	ANDERSEN CORPORATION
9	LVL FRAME - TRIP STOP	LVL	ANDERSEN CORPORATION
10	INTERIOR LVL GLASS STOP	LVL	ANDERSEN CORPORATION
11	EXTERIOR LVL GLASS STOP	LVL	ANDERSEN CORPORATION
12	MONO. TRIM STOP	LVL	ANDERSEN CORPORATION

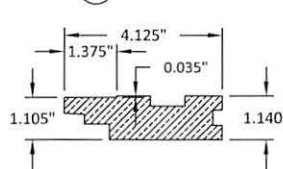
**NOTES:**

- A. ALL WOOD TO BE PONDEROSA PINE OR EQUIVALENT, MINIMUM SPECIFIC GRAVITY OF 0.40.
- B. LVL FRAME MATERIAL COMPLIES WITH APPLICABLE FBC STANDARDS FOR STRUCTURAL COMPOSITE LUMBER.

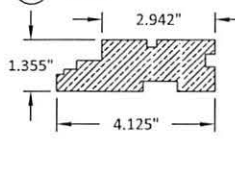
1 EXTERIOR FRAME AND FLANGE VINYL



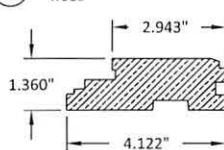
2 FRAME - HEAD WOOD



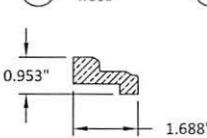
2A FRAME - SILL WOOD



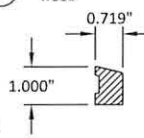
2B FRAME - JAMB WOOD



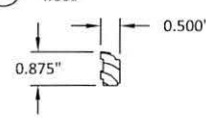
3 I.G. TRIM STOP WOOD



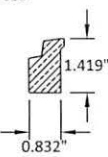
4A INTERIOR GLASS STOP WOOD



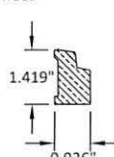
4B INTERIOR GLASS STOP WOOD



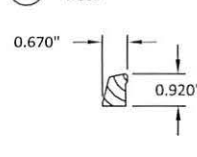
5 EXTERIOR GLASS STOP-HEAD & SILL WOOD



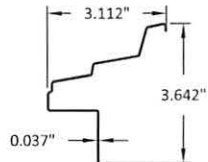
5A EXTERIOR GLASS STOP-JAMBS WOOD



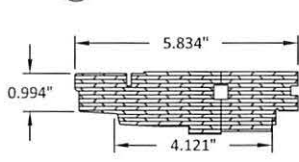
5B EXTERIOR GLASS STOP WOOD



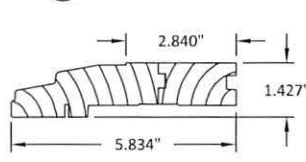
6 EXTERIOR FRAME CLADDING VINYL



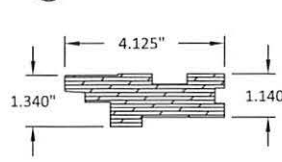
7 FRAME - HEAD/JAMB WOOD



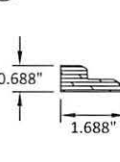
7A FRAME - SILL WOOD



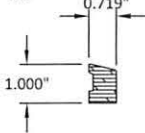
8 LVL FRAME - HEAD LVL



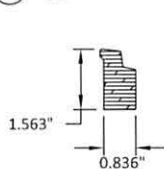
9 LVL FRAME - TRIP STOP LVL



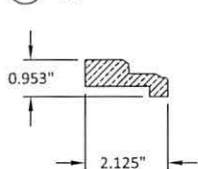
10 INTERIOR LVL GLASS STOP HEAD LVL



11 EXTERIOR LVL GLASS STOP LVL



12 MONO. TRIM STOP LVL



100 FOURTH AVE NORTH  
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PH: (651) 264-5150 FX: (651) 264-5465

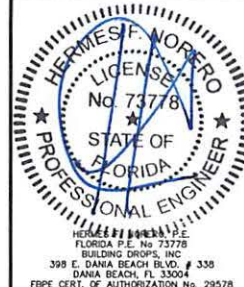
TITLE: 400 SERIES CASEMENT  
FIXED/SPECIALTY, DOUBLE-HUNG  
HALF CIRCLE, AND ELLIPTICAL  
WINDOWS (IMPACT)  
COMPONENTS &  
BILL OF MATERIALS

PREPARED BY:  
BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 999-8878  
WWW: www.buildingdrops.com



REMARKS	BY	DATE
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	HR	10.1.17

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FL #:  
**FL15905**

DATE: 10.01.17  
DWG. BY: HR     CHK. BY: HFN

SCALE: NTS  
DWG. #: AWD183

SHEET:

7

OF 7



# BUILDING DROPS

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Certificate of Authorization: 29578

398 E. Dania Beach Blvd.  
Suite 338  
Dania Beach, FL 33004  
954.399.8478 PH  
954.744.4738 FX  
contact@buildingdrops.com

## Product Evaluation Report

*of*

**Andersen Corporation**  
**Vinyl Clad Specialty Direct Glazed Window (Impact)**

*for*

**Florida Product Approval**

**FL# FL15905**

**Report No. 5151**

**Current Florida Building Code**

<b>Method:</b>	<b>1 – D (Engineering Evaluation)</b>
<b>Category:</b>	<b>Windows</b>
<b>Sub – Category:</b>	<b>Fixed</b>
<b>Product:</b>	<i>Vinyl Clad Specialty Direct Glazed Window (Impact)</i>
<b>Material:</b>	Ponderosa Pine or equal
<b>Cladding:</b>	PVC

**Prepared For:**

**Andersen Corporation**

100 Fourth Ave N  
Bayport, MN 55003-1096

**Prepared by:**

**Hermes F. Norero, P.E.**

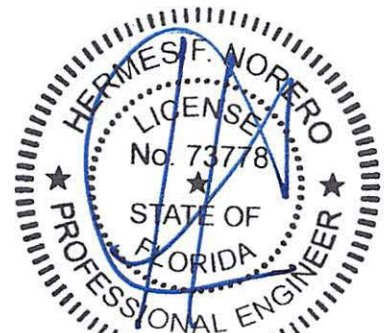
Florida Professional Engineer # 73778

Date: 10/01/2017

Contents:

Evaluation Report      Pages 1 – 4

Digitally signed by Hermes F. Norero, P.E.  
Reason: I am approving this document  
Date: 2018.07.20 17:48:44 -04'00'



Hermes F. Norero, P.E.  
Florida No. 73778





# BUILDING DROPS

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Certificate of Authorization: 29578

FL#: **FL15905**

Date: 10/01/17

Report No: 5151

---

**Manufacturer:** Andersen Corporation

**Product Category:** Windows

**Product Sub-Category:** Fixed

**Compliance Method:** State Product Approval Method (1)(d)

**Product Name:** Vinyl Clad Specialty Direct Glazed Window (Impact)

**Scope:** This is a Product Evaluation Report issued by Hermes F. Norero, P.E. (FL # 73778) for **Andersen Corporation** based on Method 1d of the State of Florida Product Approval, Florida Department of Business and Professional Regulation - Florida Building Commission.

Hermes F. Norero, P.E. does not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named herein.

This product has been evaluated for use in locations adhering to the Florida Building Code.

See Installation Instructions **AWD183**, signed and sealed by Hermes F. Norero, P.E. (FL # 73778) for specific use parameters.

**Limits of Use:**

1. This product has been evaluated and is in compliance with the Florida Building Code, including the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment into substrate material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Chapter 16 of the Florida Building Code and does not require an impact resistant covering.
4. Site conditions that deviate from the details of drawing **AWD183** require further engineering analysis by a licensed engineer or registered architect.
5. See Installation Instructions **AWD183** for size and design pressure limitations.



# BUILDING DROPS

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Certificate of Authorization: 29578

FL#: **FL15905**

Date: 10/01/17

Report No: 5151

**Quality Assurance:** The manufacturer has demonstrated compliance of products in accordance with the Florida Building Code for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Window and Door Manufacturers Association** (FBC Organization #: QUA2515).

**Performance Standards:** The product described herein has been tested and evaluated per:

- TAS 201-94
- TAS 202-94
- TAS 203-94

**Referenced Data:**

1. Product Testing performed by **Architectural Testing Inc.**  
(FBC Organization # TST1558)

Report #:

C6535.01-201-18

Signed and Sealed by Shawn G. Collins, FL PE No. 70655, Dated 06.10.2013

02-32062.01

02-30992.01

Report Date:

6/07/2013

5/5/2000

5/5/2000

2. Quality Assurance  
**Window and Door Manufacturers Association**  
(FBC Organization #: QUA2515)

3. **Material Certifications for PVC by Aspen Research Corporation:**  
"South Florida outside 45 degree exposure for 5 years" (in lieu of ASTM G 26/G 155) & ASTM D 638

Report #: F4693

Date: 03/24/99

**Material Certifications for PVC by Intertek ETL Semko:**

ASTM E 84

Report #: 3100559SAT-004

Date: 08/04/06

ASTM D 1929

Report #: 3100559SAT-001

Date: 08/09/06

ASTM D 635

Report #: 3100559SAT-007

Date: 08/08/06

4. Material Certification  
**Miami Dade RER – Product Control Section NOA**  
Eastman Chemical Company (MA) - Saflex HP PVB Interlayer

5. Material Certification  
**Miami Dade RER – Product Control Section NOA**  
Kuraray America, Inc. - Butacite PVB Interlayer  
Kuraray America, Inc.- SentryGlas Interlayer

Hermes F. Norero, P.E.

Florida No. 73778

Page 3 of 4



# BUILDING DROPS

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Certificate of Authorization: 29578

FL#: FL15905

Date: 10/01/17

Report No: 5151

**Installation:** 1. Approved anchor types and substrates are as follows:

**Installation Clip**

- A. For concrete or masonry substrate where one by (1X), non-structural, wood bucking is employed, use **one (1) 3/16" Diameter ITW Tapcon** per clip type concrete screw anchors of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- B. For concrete or masonry substrate where wood bucking is NOT employed, use **one (1) 3/16" Diameter ITW Tapcon** per clip type concrete screw anchors of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- C. For two by (2X) wood frame substrate, **two (2) #8 Wood Screws or one (1) #10 wood screw** per clip of sufficient length to achieve minimum embedment of 1.5" into wood framing
- D. For metal stud use **two (2) #8 Self-Tapping screw** per clip of sufficient length to achieve a minimum of 3 threads penetration beyond metal framing.

Refer to Installation Instructions (**AWD183**) for anchor spacing and more details of the installation requirements.

**Design Pressure:**

UNIT	DESIGN PRESSURE	MISSILE IMPACT RATING
P5060	+70.0/-80.0 PSF	LARGE & SMALL MISSILE IMPACT RATED
ET8		
CTC3		
CTR6010		

Hermes F. Norero, P.E.

Florida No. 73778

Page 4 of 4

# Appendix B:

## Maps of Subject Property

POPLAR ST NE

COFFEE POT BLVD NE

19TH AVE NE

18TH AVE NE

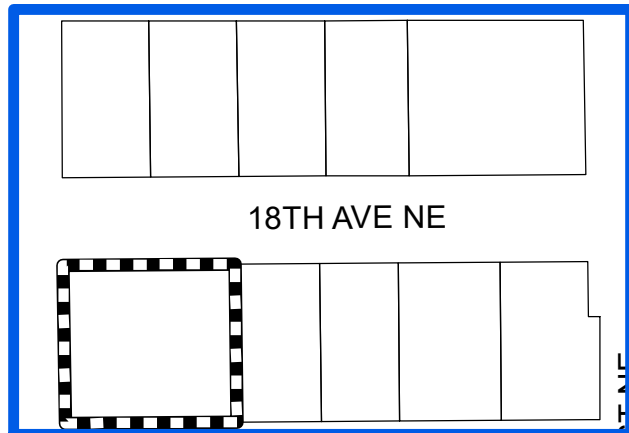
17TH AVE NE

16TH AVE NE

ELM ST NE

WALNUT ST NE

BEACH DR NE



700 Block of 18th Avenue Northeast

**Community Planning and Preservation Commission**

**706 18th Ave NE**

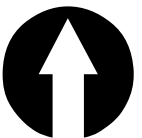
**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**20-90200052**



**N**

SCALE:  
1" = 150'



700 Block of 18th Avenue Northeast

**Community Planning and Preservation Commission**

**706 18th Ave NE**

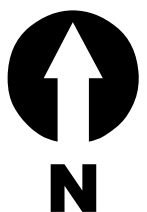
**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**20-90200052**



SCALE:  
1" = 100'

# Appendix C:

## Public Comments

To whom it may Concern:

I am William (Britt) Cobb, I, my wife Catherine and my children live at 726 18<sup>th</sup> Ave NE St Petersburg, in the 700 block historic district. We have lived here for approximately 20 years and enjoy our historic neighborhood and are interested in its continuous preservation and evolution.

We are the only direct neighbors in the district abutting the property of Kath Cote and Kim Cromwell at 706 18<sup>th</sup> Ave NE. We have reviewed their proposed plans for renovation of their home, including modification of the pool and addition of the proposed expansion/ renovation, which will be situated on their home towards our house.

We are in complete support of their proposal and appreciate their sharing the proposal with us, and their continued care and support of our neighborhood.

Kind Regards,

Britt Cobb



**Cote/Cromwell (1188)**  
**706 18<sup>th</sup> Ave NE**  
**St Petersburg, FL 33704**

**Date: 6.29.20**

**Email "vote(s)" from Residents w/in 700 Block of 18<sup>th</sup> Ave**

**From:** Molly Camp <[m.camp10@knology.net](mailto:m.camp10@knology.net)>

**Date:** June 29, 2020 at 12:48:36 PM EDT

**To:** [tkcromwell@mac.com](mailto:tkcromwell@mac.com)

**Subject:** 706 18th Avenue NE

To Whom it may concern: My husband and I live at 745 18th Avenue NE, and we have reviewed the plans for the renovations at 706 18th Avenue NE. We support the proposed plans.

Molly Camp

Sent from my iPad

---

**From:** Matthew Grecsek <[matt@grecsek.com](mailto:matt@grecsek.com)>

**Date:** June 27, 2020 at 1:33:06 PM EDT

**To:** "T. Kim Cromwell" <[tkcromwell@me.com](mailto:tkcromwell@me.com)>

**Subject:** Re: 706 18th Ave NE renovation

Hi Kim,

Welcome back! Thanks for sharing your renovation plans. They look great.

I can't imagine the city or any neighbors objecting to your plans.

As a resident of the historic district, please feel free to forward our statement of support to the City.

Take care,

-Matt

---

Cote/Cromwell (1188)  
706 18<sup>th</sup> Ave NE  
St Petersburg, FL 33704

Date: 6.29.20

**Email "vote(s)" from Residents w/in 700 Block of 18<sup>th</sup> Ave**

**From:** Elizabeth Skidmore <[eskid64@gmail.com](mailto:eskid64@gmail.com)>

**Date:** June 29, 2020 at 1:17:47 PM EDT

**To:** "T. Kim Cromwell" <[tkromwell@me.com](mailto:tkromwell@me.com)>

**Cc:** Britt Cobb <[brittcobb@cobb-design.com](mailto:brittcobb@cobb-design.com)>, Cote Kath <[kacote@me.com](mailto:kacote@me.com)>, Skidmore David <[dskidmore63@gmail.com](mailto:dskidmore63@gmail.com)>

**Subject: Re: 706 18th Ave NE renovation**

We are supportive of the thoughtful and attractive proposed plans for Kim Cromwell and Kath Cote's 706 18th Ave NE residence. As longtime neighbors of the historic Old Northeast 700 block, we so appreciate their attention to detail and improving the block and neighborhood.

Elizabeth and David Skidmore  
746 18th Ave NE  
33704

---

**Cote/Cromwell (1188)**  
**706 18<sup>th</sup> Ave NE**  
**St Petersburg, FL 33704**

**Date: 6.26.20**

**Email "vote(s)" from Residents w/in 700 Block of 18<sup>th</sup> Ave**

**From:** Mary Jo Robinson <[mr@robinsonbrandbuilders.com](mailto:mr@robinsonbrandbuilders.com)>

**Date:** June 25, 2020 at 5:51:09 PM EDT

**To:** "T. Kim Cromwell" <[tkcromwell@me.com](mailto:tkcromwell@me.com)>

**Subject: Re: 706 18th Ave NE renovation**

Kim ... please convey to the City of St. Pete that Jerry and MJ Robinson (705 18th Ave NE) have reviewed the plans for your renovation and support you and Kath on your renovation for both house and pool at 706 18th Ave NE.

Good luck, let us know if we can be of any assistance.

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**From:** Laura Erwin <[lauraerwin@bellsouth.net](mailto:lauraerwin@bellsouth.net)>

**Date:** June 26, 2020 at 11:41:05 AM EDT

**To:** Kim Cromwell <[tkcromwell@mac.com](mailto:tkcromwell@mac.com)>

**Subject: Reno 706 18th Ave NE**

Please let this email note our support for your proposed project. As a neighbor who also lives on the Historic Block of 18th Ave NE, I have reviewed the plans for the renovation taking place to the house and pool at 706 18th Ave NE. Both my husband and I support what Kim Cromwell and Kath Cote have proposed.

Thank You,

Laura Erwin  
725 18th Ave NE

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**Arnie Cummings**  
**715 18th Avenue N.E., St. Petersburg, FL 33704-4607**  
**239-826-7513 Cell/text**  
**ArnieBCummings@yahoo.com**

August 4, 2020

Community Planning and Preservation Commission  
City of St. Petersburg

Re: Support for New Building Addition  
Theresa Cromwell and Kathleen Cote  
706 18th Ave NE  
City File 20-90200052  
700 Block of 18th Ave NE Historic District

Commission Members:

Please be advised that I am in support of the above-referenced application for construction of a new building addition.

The subject property is a double lot. My property is directly across the street from the portion of the subject property on which the addition is to be constructed. The view across the street from the existing rear alley garage/apartment structure on my property looks directly at what would be the new addition. Similarly, this is the same view across the street from what the original developer of my property (circa 1926) intended to be for a main house facing the street. No one individual property will have more visual impact than mine, and I fully support and the proposed addition without reservations.

For the record, my property is one of the two inferior properties for which this one-block Historic District was created to control. The District was created in a clandestine ambush manner to weaponize historic codes as means of bullying control over the owners of two obviously inferior properties that were known to require new construction projects. My particular property was never completed in 1926. The main house was never constructed, and the front portion of the lot lay abandoned for over 80 years. I purchased the property intending to eventually complete the original overall design intent of a main house fronting the street, similar to all other properties on the block. After the contentious creation of the District and the ensuing years of litigation, neighbors arguing, and interference by third parties, this one-block Historic District became a toxic neighborhood environment to live or build in. It is time for these battles to cease. I respect the property rights of my neighbors, as I hope they will respect mine when the time comes for me to build. I would very much like to see property ownership rights once again respected by the City of St. Petersburg and all other parties.

Sincerely,



Arnold B. Cummings